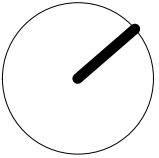


SITE ISSUE

| | | REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|--|--|-----|---------------------------------------|------------|----|-------------------------|---------------------|
| | | A | CONCEPT DESIGN B | 26.09.2021 | LX | LOT NO: 168 | 'NEW RESIDENCE' |
| | | B | CONTRACT ISSUE | 04.01.2022 | LX | AREA: 500m ² | / - / |
| | | C | BA COORDINATION | 19.01.2022 | LX | PLAN NO: / | / |
| | | D | BA COORDINATION | 02.03.2022 | LX | WARD: ? | |
| | | E | CONSTRUCTION ISSUE | 09.03.2022 | LX | SUBURB / | |
| | | F | SITE ISSUE | 16.03.2022 | LX | AUTHORITY: B.C.C | |
| | | G | SITE ISSUE | 24.03.2022 | LX | | SHEET NUMBER & NAME |
| | | H | SITE ISSUE | 02.04.2022 | LX | | 000.00 COVER SHEET |
| | | I | RCP & ELECTRICAL & LIGHTING AMENDMENT | 25.06.2022 | LX | | |



GENERAL NOTES:
DO NOT SCALE PLANS, USE WRITTEN DIMENSIONS ONLY.
ALL WORKS SHALL COMPLY WITH, BUT NOT BE LIMITED TO THE BUILDING CODE OF AUSTRALIA & THE AUSTRALIAN STANDARDS:
AS 1288 - 2006 GLASS IN BUILDINGS - SELECTION AND INSTALLATION
AS 1562 - 1992 DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING
AS 1684 - 2010 NATIONAL TIMBER FRAMING CODE
AS 2049 - 2002 ROOF TILES
AS 2050 - 2002 INSTALLATION OF ROOF TILES
AS 2870 - 2011 RESIDENTIAL SLAB AND FOOTINGS - CONSTRUCTION
AS/NZS 2904 - 1995 DAMP-PROOF COURSES & FLASHINGS
AS 3600 - 2009 CONCRETE STRUCTURES
AS 3660 - 2012 BARRIERS FOR SUBTERRANEAN TERMITES AS 3700 - 2011 MASONRY IN BUILDINGS
AS 3740 - 2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
AS 3786 - 1993/2014 SMOKE ALARMS
AS 4055 - 2012 WIND LOADINGS FOR HOUSING
AS 4100 - 1998 STEEL STRUCTURES
AS 4654 - WATERPROOF MEMBRANES FOR EXTERNAL ABOVE GROUND USE
THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL & CIVIL ENGINEERING COMPUTIONS AND DRAWINGS. SOIL CLASSIFICATION - REFER TO STRUCTURAL ENGINEERS SOIL TEST.
ALL BUILDINGS SHALL BE PROTECTED AGAINST TERMITE ATTACK IN ACCORDANCE WITH AS 3660.1. ALL STRUCTURAL ELEMENTS AS DEFINED BY THE BUILDING CODE OF AUSTRALIA TO BE OF TERMITE RESISTING CONSTRUCTION. A DURABLE NOTICE SHALL BE PLACED IN THE METER BOX INDICATING TYPE OF BARRIER & REQUIRED PERIODICAL INSPECTIONS.
SAFETY GLAZING TO BE USED IN THE FOLLOWINGS CASES –
i) ALL ROOMS - WITHIN 500mm VERTICAL OF THE FLOOR
ii) BATHROOMS - WITHIN 1500mm VERTICAL OF THE BATH BASE
iii) FULLY GLAZED DOORS iv) SHOWER SCREENS
iv) WITHIN 300mm OF A DOOR & 1200mm ABOVE FLOOR LEVEL
v) WINDOW SIZES ARE NOMINAL ONLY, ACTUAL SIZES WILL VARY WITH MANUFACTURER, FLASHING ALL ROUND.

STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE AS DETERMINED BY THE RELEVANT AUTHORITY.
TILED DECKS OVER HABITABLE AREAS ARE TO BE, IN THE FOLLOWING ORDER WHEN OVER FLOOR JOISTS - 19mm COMPRESSED FIBRE CEMENT SHEET, WITH ONE LAYER OF PARCHEM EMERPROOF 750 WITH A SECOND LAYER OF SAND SEED WITH A DFT OF 1300 MICRON, INSTALLED TO MANUF. SPECIFICATIONS, & FLOOR TILES OVER, ALL CORNERS TO HAVE 20mm MASTIC SEALANT UNDER THE PARCHEM EMERPROOF 750. ALL WET AREAS TO COMPLY WITH NCC 3.8.1.2 AND AS 3740. SPLASH BACKS SHALL BE IMPERVIOUS FOR 150mm ABOVE SINKS, TUB & VANITY BASINS WITHIN 75mm OF THE WALL
STAIR REQUIREMENTS: MIN. TREAD 240mm, MIN. RISER 115mm, MAX. RISER 190mm, SPACE BETWEEN OPEN TREADS MAX. 125mm. TREADS TO BE NON SLIP SURFACE BALUSTRADES: MIN. 1000mm ABOVE LANDINGS WITH MAX. OPENING OF 125mm AND IN ACCORDANCE WITH NCC 3.9.2. FOR STAINLESS STEEL BALUSTRADE, REFER TO Table 3.9.2.1 (WIRE BALUSTRADE CONSTRUCTION - REQUIRED WIRE TENSION & MAXIMUM PERMISSIBLE DEFLECTION) OF THE NCC.
EXHAUST FANS FROM SANITARY COMPARTMENTS TO BE DUCTED EXTERNALLY
Additional Notes:
• ALL WINDOWS TO COMPLY WITH BCA CLAUSE 3.9.2.5.
• ALL WINDOWS TO HAVE CLEAR GLAZING UNLESS SPECIFIED.
• LAMINATED GLAZING TO WET AREA WINDOWS TO AS1288 - 1994.
• WC DOOR TO BE REMOVABLE AND FITTED WITH LIFT OFF HINGES WHERE REQUIRED AS PER BCA AMENDMENT 3 PART 3.8.3.3
• WATERPROOFING TO WET AREAS TO COMPLY WITH AS3740.
• WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE
• MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH B.C.A P.2.4.5
• ALL WINDOW HEAD HEIGHTS TO BE 2400mm HIGH UNLESS OTHERWISE NOTED
• GREY GLASS TO ALL WINDOWS AND DOORS U.O.N.
• DOUBLE STUDS TO ALL INTERNAL DOORS
□ TIMBER ROOF TRUSS AND WALL FRAMES TO MANUFACTURER'S SPECIFICATIONS

• EXPANSION JOINTS ARE TO BE PROVIDED IN ACCORDANCE WITH ENGINEER'S SPECIFICATIONS
• ALL GLAZING TO AUSTRALIAN STANDARD 1288-2006
• EAVES OVERHANG AND GABLE ARE MEASURED FROM INNER FACE OF FASCIA TO OUTSIDE FACE OF TIMBER FRAME
• ALL WINDOW HEAD HEIGHTS TO BE AT 2135mm HIGH UNLESS OTHERWISE NOTED

Additional Notes (More depth and specialised proposed structure requirements):
□ IT IS THE BUILDERS RESPONSIBILITY TO CONFIRM THE DEPTH OF THE SEWER, WATER AND STORMWATER INFRASTRUCTURE AND ENSURE FOUNDATION CONSTRUCTION ACHIEVED THE REQUIREMENTS OF THE QUEENSLAND DEVELOPMENT CODE MP 1.4 - BUILD OVER OR NEAR RELEVANT INFRASTRUCTURE.

□ WC DOORS TO COMPLY WITH THE BCA.PART 3.8.3; DOOR TO SWING OUT FROM THE EDGE OF THE PAN, DISTANCE BETWEEN THE PAN AND THE DOOR EDGE TO BE 1200mm OR LIFT-OFF HINGES TO BE INSTALLED.

□ MASONRY CONSTRUCTION TO COMPLY WITH NCC VOLUME TWO PART 3.3 (as applicable).

□ FINISHED FLOOR LEVEL TO BE IN COMPLIANCE WITH THE BCA VOL 2 PART 3.1.3

- 50mm ABOVE HARD PAVED SURFACES
- 100mm ABOVE WELL DRAINED SANDY SOILS
- 150mm IN ANY OTHER CASE.
□ NATURAL LIGHT AND VENTILATION TO BE PROVIDED IN ACCORDANCE WITH THE BCA VOL. 2 PART 3.8. CAVITY SLIDING DOORS ARE TO BE GLAZED PANELS OR A SKYLIGHT/S IS TO BE PROVIDED IN ACCORDANCE WITH THE BCA PART 3.8.4

□ ROOF CLADDING AND FLASHINGS TO BE INSTALLED IN ACCORDANCE WITH BCA PART 3.5.1 AND 3.5.2 (as applicable).

□ TERMITE MANAGEMENT SYSTEM TO BE FULLY INSTALLED TO COMPLY WITH BCA PART 3.1.4 AND AS 3660.1 INCLUDING ALL PENETRATIONS AND COLD JOINTS AS APPLICABLE.

□ PRIVACY SCREENING TO WINDOWS/BALCONIES MUST BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY PLANNING SCHEME.

□ IF THE COMBINED HEIGHT OF RETAINING WALLS AND FENCING EXCEEDS 2M ABOVE NATURAL GROUND LEVEL, FURTHER APPROVALS FROM THE LOCAL AUTHORITY MAY BE REQUIRED PRIOR TO THE ISSUE OF A FINAL CERTIFICATE

(i) RETAINING WALLS GREATER THAN 1M IN HEIGHT, WITHIN 1.5M OF ANOTHER BUILDING/STRUCTURE, OR TAKING SURCHARGE LOAD, MAY REQUIRE ENGINEER'S DETAILS AND FURTHER APPROVALS

□ GRADE SITE AWAY FROM THE BUILDING AT A MINIMUM SLOPE OF 1:20 FOR A MINIMUM DISTANCE OF 1000MM TO PERIMETER, SO THAT THE WATER DRAINS TO THE ROAD OR UNDERGROUND DRAINAGE, NOT ONTO NEIGHBOURING PROPERTIES
□ EXTERNAL WALL WITHIN 900mm OF THE BOUNDARY MUST BE FIRE RATED TO 60/60/60 IN ACCORDANCE WITH THE BCA VOL 2, PART 3.7.2, AND CONSTRUCTED OF MAINTENANCE FREE MATERIALS IN ACCORDANCE WITH THE QDC, PART A6.

□ A SEAL TO RESTRICT AIR INFILTRATION MUST BE FITTED TO EACH EDGE OF AN EXTERNAL DOOR, OPENABLE WINDOW AND OTHER SUCH OPENING WHEN SERVING A CONDITIONED SPACE AS PER BCA VOL 2 PART 3.12.3

□ THE SPACING BETWEEN DOWNPIPES MUST NOT BE MORE THAN 12M, AS PER THE BCA VOL. 2 PART 3.5.2.

□ DOWNPIPES MUST NOT SERVE MORE THAN 12M OF GUTTER LENGTH, AS PER THE BCA VOLUME 2 PART 3.5.2.5

□ SMOKE ALARMS MUST COMPLY WITH THE REQUIREMENTS OF BCA, PART 3.7 - FIRE SAFETY AND THE BUILDING REGULATION PART 3A

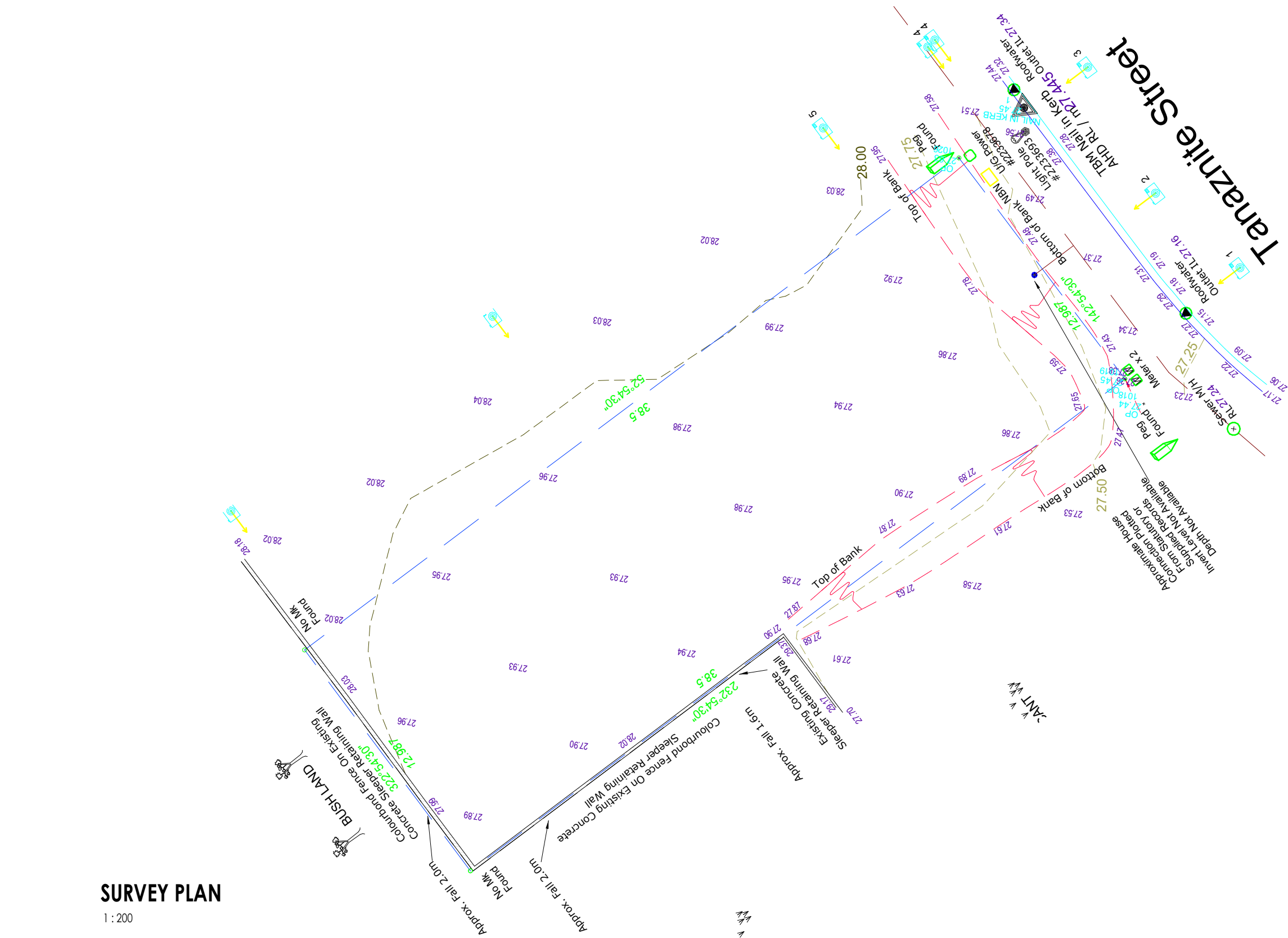
-PLEASE NOTE: SMOKE ALARMS ARE TO BE LOCATED A MINIMUM OF 300MM AWAY FROM LIGHT FITTINGS AND WALLS AND 400MM AWAY FROM CEILING FAN BLADES AND/OR AIR CONDITIONER VENTILATION OPENINGS.
-SMOKE ALARMS MUST BE 500MM AND 1500MM AWAY FROM THE HIGH POINT AND APEXES OF THE CEILING, IF THE ROOM HAS A SLOPING CEILING

ARCHITECTUAL DRAWINGS LIST OF CONTENTS

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| 000.01 | TITLE PAGE | 800.60 | ROBE/LINEN CUPBOARD DETAIL |
| | | 800.70 | OTHER INTERNAL DETAIL |
| 100.00 | SURVEY PLAN | | |
| 100.10 | SITE PLAN | 810.00 | PERSPECTIVES - EXTERIOR |
| 100.20 | LANDSCAPE PLAN | 810.10 | PERSPECTIVES - KITCHEN |
| | | 810.20 | PERSPECTIVES KITCHEN/DINING |
| | | 810.30 | PERSPECTIVES - LIVING |
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| 300.00 | ELEVATIONS | | |
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| 410.10 | WALL SECTIONS | | |
| 700.00 | CONSTRUCTION DETAILS - SLAB | | |
| 800.00 | MOUNTING HEIGHTS | | |
| 800.10 | KITCHEN DETAIL | | |
| 800.30 | LAUNDRY & BATH DETAIL | | |

SITE ISSUE

| | | | | | |
|--|--|---|--|---|-------------|
| | | <div>REVDESCRIPTIONDATEBY</div> <div>A B C D E F G H I</div> <div>CONCEPT DESIGN B CONTRACT ISSUE BA COORDINATION BA COORDINATION CONSTRUCTION ISSUE SITE ISSUE SITE ISSUE SITE ISSUE RCP & ELECTRICAL & LIGHTING AMENDMENT</div> <div>26.09.2021 04.01.2022 19.01.2022 02.03.2022 09.03.2022 16.03.2022 24.03.2022 02.04.2022 25.06.2022</div> <div>LX LX LX LX LX LX LX LX LX</div> | <div>RP DESCRIPTION</div> <div>LOT NO:168</div> <div>AREA:500m²</div> <div>PLAN NO:/</div> <div>WARD:?</div> <div>SUBURB/</div> <div>AUTHORITY:B.C.C</div> | <div>PROJECT DESCRIPTION</div> <div>'NEW RESIDENCE'</div> <div>/ - /</div> <div>/</div> <div>SHEET NUMBER & NAME</div> <div>000.01 TITLE PAGE</div> | <div></div> |
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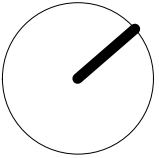


SURVEY PLAN

1 : 200

SITE ISSUE

| REV | | DESCRIPTION | DATE | BY | RP DESCRIPTION | | PROJECT DESCRIPTION | |
|-----|--|---------------------------------------|------------|----|----------------|-------|---------------------|--|
| A | | CONCEPT DESIGN B | 26.09.2021 | LX | LOT NO: | 168 | 'NEW RESIDENCE' | |
| B | | CONTRACT ISSUE | 04.01.2022 | LX | AREA: | 500m² | / - / | |
| C | | BA COORDINATION | 19.01.2022 | LX | PLAN NO: | / | / | |
| D | | BA COORDINATION | 02.03.2022 | LX | WARD: | ? | | |
| E | | CONSTRUCTION ISSUE | 09.03.2022 | LX | SUBURB | / | SHEET NUMBER & NAME | |
| F | | SITE ISSUE | 16.03.2022 | LX | AUTHORITY: | B.C.C | 100.00 SURVEY PLAN | |
| G | | SITE ISSUE | 24.03.2022 | LX | | | | |
| H | | SITE ISSUE | 02.04.2022 | LX | | | | |
| I | | RCP & ELECTRICAL & LIGHTING AMENDMENT | 25.06.2022 | LX | | | | |



| SITE COVER | |
|--------------|----|
| BUILING AREA | % |
| 207 m² | 41 |

BUILDING NOTES

WALL FRAMES:
EXTERNALS: 90mm TIMBER STUD OR 90mm METAL STUD
INTERNALS: 90mm TIMBER STUD **UNO** OR 90mm METAL STUD **UNO**

(TIMBER WALL FRAMES ARE T2 / H2 TREATED)

EXTERNAL WALLS TYPES:
GROUND FLOOR
BRICKWORK (110 BRICK, 40 CAVITY, 90 TIMBER)
NRG GREENBOARD (60 & 100 BOARD, 90 CAVITY, 90 TIMBER)
CLADDING (DIRECT FIX)

ROOFING:
CUSTOM ORB SHEETING (ANTICON BONDED BLANKET)
FASCIA:
COLORBOND METAL FIXED FASCIA
GUTTER: 150MM HIGH FRONT SLOTTED QUAD WITH SPACER
DOWNPIPES: 90Ø PVC

INTERNAL LININGS:
WALLS
10MM PLASTERBOARD
6MM VILLABOARD TO ALL WET AREAS
WC
10MM PLASTERBOARD (SKIRTING TILE ONLY)
6MM VILLABOARD TO FULL HEIGHT TILES
LAUNDRY
10MM WR PLASTERBOARD
(BOTTOM SHEET ONLY) TUB / WASHING MACHINE
CEILING:
10MM PLASTERBOARD
(INCLUDING ALFRESCO)
SOFFITS:
4.5MM FC

INSULATION:
CEILING R2.5 CIELING INSULATION BATTS
(EXCLUDING GARAGE & EAVES)
EXTERNAL WALLS WITH WALL WRAP AROUND PERIMETER
CLADDED EXTERNAL WALLS WITH R1.5 WALL BATTS

SITE NOTES

CONTOURS AND LEVELS SHOWN ARE PROVIDED BY A LICENSED SURVEYOR
TOPOGRAPHY SHOWN IS BASED ON AN ASSUMED DATUM POINT
ALL SURVEY PEGS ARE TO BE LOCATED PRIOR TO EARTHWORKS
SURFACE WATER TO BE DRAINED AWAY FROM DWELLING
(PROVIDE A 1:20 MIN. FALL)
UNLESS NOTED OTHERWISE, REMOVAL OF EXISTING TREES AND CONSTRUCTION OF RETAINING WALLS, WHERE REQUIRED, SHALL BE PROVIDED BY THE OWNER
MAXIMUM BATTERS SHALL OCCUR AS FOLLOWS:-
(I) CUT - 1:1
(II) FILL - 1:3
(III) VEHICULAR ACCESS - 1:5 (1:6 PREFERRED)
THE WORKING PAD R.L. NOTED ON THE SLAB SETOUT PLAN SHALL HAVE A TOLERANCE OF UP TO +/- 100MM

FIRE ANT:
PRIOR TO ANY REMOVAL OF SOIL ON THE SITE, BUILDER MUST CHECK FIRE ANT REGUALTION ZONE

STORMWATER:
- 2x100mm DIA HEAVY DUTY PVC UNDERGROUND STORMWATER PIPES **UNO** CONNECTED TO DOWNPIPES.
BUILDER/ROOF PLUMBER IS ENSURE THAT ALL GUTTERS/DOWNPIPES COMPLY WITH NCC VOL. 1 PART 3.5.
PRIOR TO ANY EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES.
STORMWATER LAYOUT SHOWN IS INDICATIVE ONLY & WILL BE LAID AT THE PLUMBERS DISCRETION

SERVICES:
LOCATION OF SERVICE ITEMS (EG. METER BOX, GAS METER) SUBJECT TO CONFIRMATION OF SITE SERVICE PITS

BAL RATING:
N/A (REFER TO REPORT IF APPLICABLE)

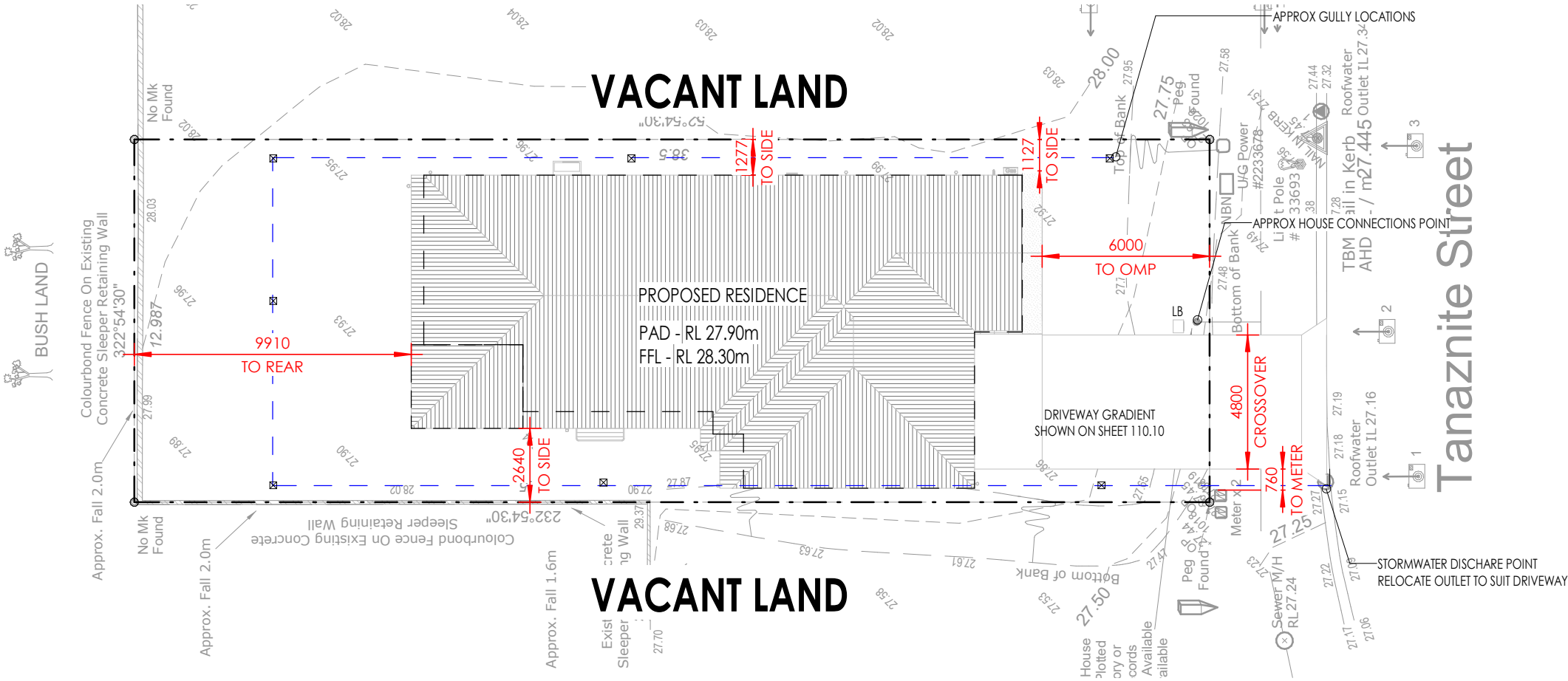
GAS MAINS CONNECTION AVAILABILITY:
YES

ACOUSTIC RATING:
N/A
(REFER TO REPORT IF APPLICABLE)

FLOOD REQUIREMENT:
N/A (REFER TO REPORT)
MINIMUM HABITABLE FFL 0.0m

SOIL CLASSIFICATION:
(REFER TO REPORT)

WIND CLASSIFICATION:
(REFER TO REPORT)

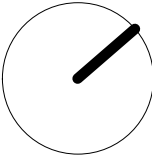


SITE PLAN

1 : 200

SITE ISSUE

| REV | | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|--|---------------------------------------|------------|----|------------------|---------------------|
| A | | CONCEPT DESIGN B | 26.09.2021 | LX | LOT NO: 168 | 'NEW RESIDENCE' |
| B | | CONTRACT ISSUE | 04.01.2022 | LX | AREA: 500m² | / - / |
| C | | BA COORDINATION | 19.01.2022 | LX | PLAN NO: / | / |
| D | | BA COORDINATION | 02.03.2022 | LX | WARD: ? | |
| E | | CONSTRUCTION ISSUE | 09.03.2022 | LX | SUBURB / | |
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| H | | SITE ISSUE | 02.04.2022 | LX | | |
| I | | RCP & ELECTRICAL & LIGHTING AMENDMENT | 25.06.2022 | LX | | |



| KEYNOTE LEGEND | |
|----------------|--|
| ACC DS | AIR-CONDITIONING CONDENSER - DUCTED SYSTEM |
| CL1 | CLOTHES LINE (WALL MOUNTED) |
| DP1 | PVC DOWNPIPE |
| GM | GAS METER |
| GWU | GAS HOT WATER UNIT |
| HC | HOSE COCK |
| LB | LETTERBOX |
| RB | REFUSE BIN |

| LANDSCAPING AREA SUMMARY | |
|--------------------------|--------|
| EXPOSED AGG. | 63 m² |
| GARDEN BED | 12 m² |
| GRAVEL | 24 m² |
| NATURAL GRASS | 207 m² |

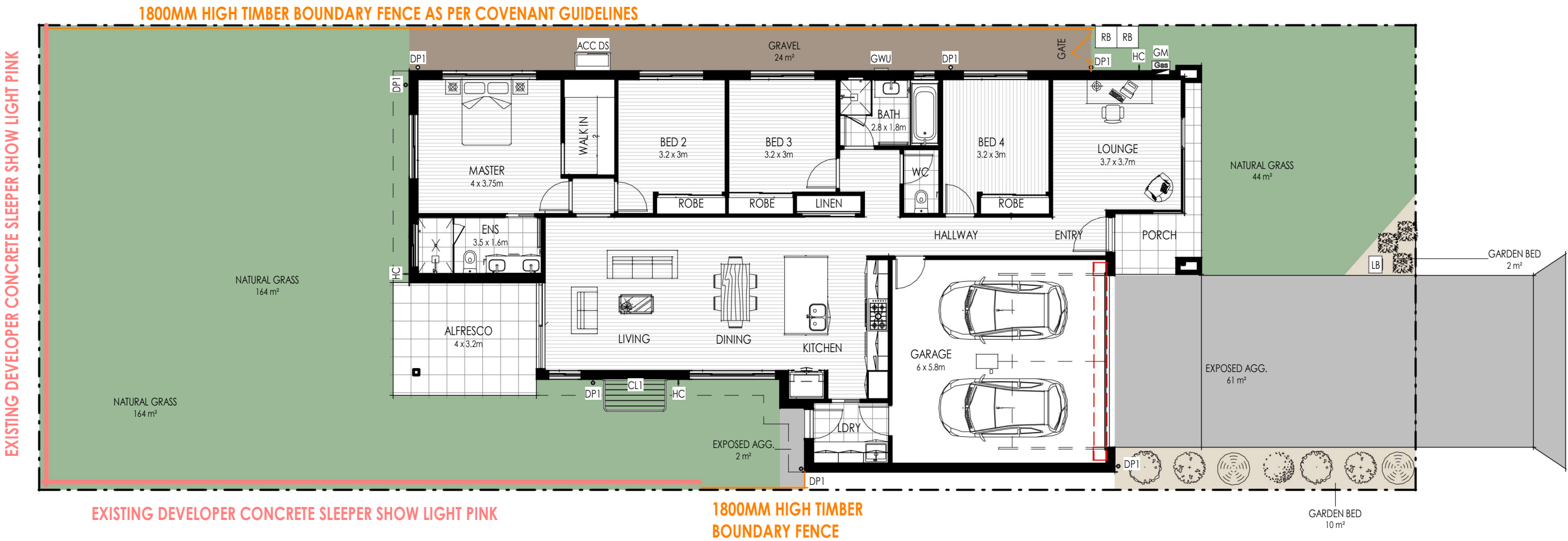
LANDSCAPING NOTES

ALL EXTERNAL WORKS SHOWN IN THIS VIEW IS TO BE COMPLETED BY OWNER UNLESS OTHERWISE NOTED

PLANTS LOCATIONS ARE INDICATIVE AND MAY ALTER TO SATISFY COUNCIL AND/OR DEVELOPERS REQUIREMENTS

LOCATION OF FENCE IS INDICATIVE AND SUBJECT TO CHANGE TO SUIT COUNCIL AND/OR DEVELOPER REQUIREMENTS

SIDE FENCE RETURN FINISH IS TYPICALLY STAINED TIMBER UNO. ALSO SUBJECT TO COUNCIL AND/OR DEVELOPER REQUIREMENTS



FFL 1 - LANDSCAPE AREA

1 : 120

SITE ISSUE

| REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
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SHEET NUMBER & NAME
100.20 LANDSCAPE PLAN

| AREA SUMMARY | |
|-----------------------|--------|
| GROUND FLOOR INTERNAL | 153 m² |
| PORCH | 6 m² |
| GARAGE | 37 m² |
| ALFRESCO | 13 m² |
| 209 m² | |

KEYNOTE LEGEND

| | |
|--------|--|
| ACC DS | AIR-CONDITIONING CONDENSER - DUCTED SYSTEM |
| CL1 | CLOTHES LINE (WALL MOUNTED) |
| DP1 | PVC DOWNPIPE |
| GM | GAS METER |
| GWU | GAS HOT WATER UNIT |
| HC | HOSE COCK |
| MB | ELECTRICAL METERBOARD |
| SHS02 | 75 SHS |
| TP2.4 | 150x150 HWD SAWN TIMBER POST (STIRRUP FIXED) |

PLAN NOTES

REFER TO SHEET 100.10 FOR CONSTRUCTION METHODOLOGY FOR ITEMS SUCH AS:

- ROOFING
- WALL FRAMING
- CEILINGS
- EXTERNAL WALL LININGS
- INTERNAL WALL LININGS
- INSULATION

REFER TO SMOKE DETECTOR AND EXHAUST FAN LOCATIONS ON SHEETS 240 SERIES

GRID LINES ALIGN WITH REBATE/OUTER MOST STRUCTURAL PART OF WALL

REFER TO ALL JOINERY DETAILS ON SHEETS 800 SERIES

REFER TO ALL SHEET 110.10 FOR ALL SLAB SETDOWNS AND REBATE DETAILS

REFER TO SHEET 100.10 FOR CONSTRUCTION METHODOLOGY

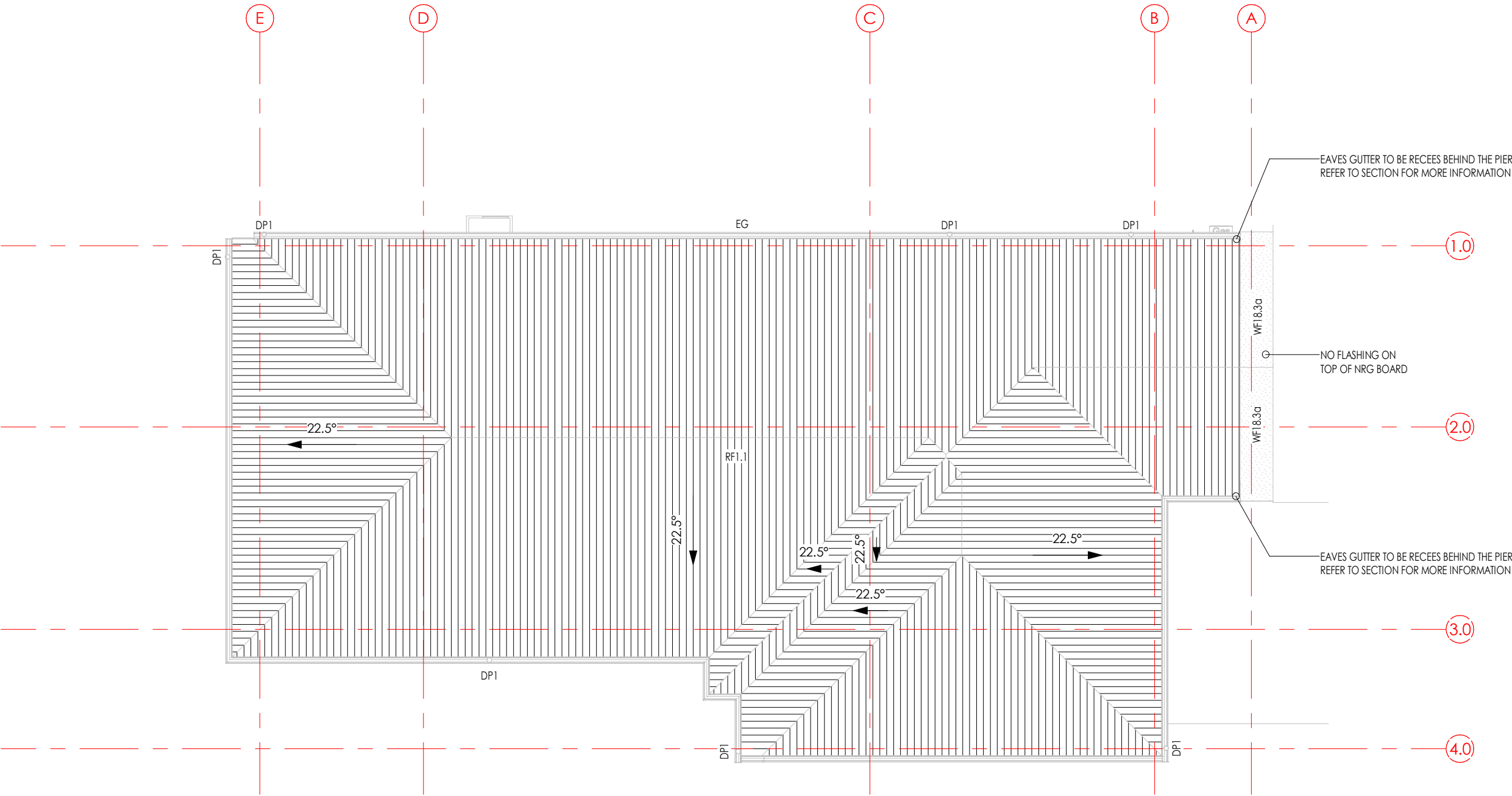
SITE ISSUE

GROUND FLOOR

1 : 100

| REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
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| I | RCP & ELECTRICAL & LIGHTING AMENDMENT | 25.06.2022 | LX | | |

SHEET NUMBER & NAME
200.00 GROUND FLOOR PLAN



ROOF PLAN

1 : 100

SITE ISSUE

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| I | RCP & ELECTRICAL & LIGHTING AMENDMENT | 25.06.2022 | LX | | |

SHEET NUMBER & NAME
210.00 ROOF PLAN


| KEYNOTE LEGEND | |
|----------------|---|
| CF1.2 | PLASTERBOARD CEILING - CORNICE |
| CF1.3 | WET AREA PLASTERBOARD CEILING - SQUARE-SET |
| CF1.5 | WET AREA PLASTERBOARD CEILING - EXTERNAL USE |
| CF5.0 | BULKHEAD |
| WF18.3a | NRG GREENBOARD 60mm RENDERED AND PAINTED FINISH |

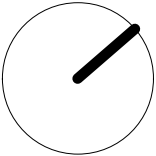


GROUND FLOOR - RCP
1 : 100

SITE ISSUE

| | | | | | | |
|--|-----|---------------------------------------|------------|----|------------------|---------------------------|
| | REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
| | A | CONCEPT DESIGN B | 26.09.2021 | LX | LOT NO: 168 | 'NEW RESIDENCE' |
| | B | CONTRACT ISSUE | 04.01.2022 | LX | AREA: 500m² | / - / |
| | C | BA COORDINATION | 19.01.2022 | LX | PLAN NO: / | / |
| | D | BA COORDINATION | 02.03.2022 | LX | WARD: ? | |
| | E | CONSTRUCTION ISSUE | 09.03.2022 | LX | SUBURB / | SHEET NUMBER & NAME |
| | F | SITE ISSUE | 16.03.2022 | LX | AUTHORITY: B.C.C | 220.00 RCP - GROUND FLOOR |
| | G | SITE ISSUE | 24.03.2022 | LX | | |
| | H | SITE ISSUE | 02.04.2022 | LX | | |
| | I | RCP & ELECTRICAL & LIGHTING AMENDMENT | 25.06.2022 | LX | | |





KEYNOTE LEGEND

| | |
|----|-----------------------|
| MB | ELECTRICAL METERBOARD |
|----|-----------------------|

ELECTRICAL SCHEDULE

| | |
|----|-----------------------------------|
| 6 | CEILING FAN - INDOORS |
| 1 | CEILING FAN - OUTDOORS |
| 2 | EXTERNAL SENSORED LIGHT |
| 23 | GPO DOUBLE |
| 1 | GPO DOUBLE (EXTERNAL) |
| 7 | GPO SINGLE |
| 2 | HEAT LAMP (2 LIGHTS) WITH EXHAUST |
| 33 | LED RECESSED DOWNLIGHT |
| 13 | LIGHT AND/FAN SWITCH |
| 2 | NBN POINT |
| 6 | SMOKE DETECTOR |
| 1 | TV POINT |
| 3 | WALL LIGHT (EXTERNAL) |

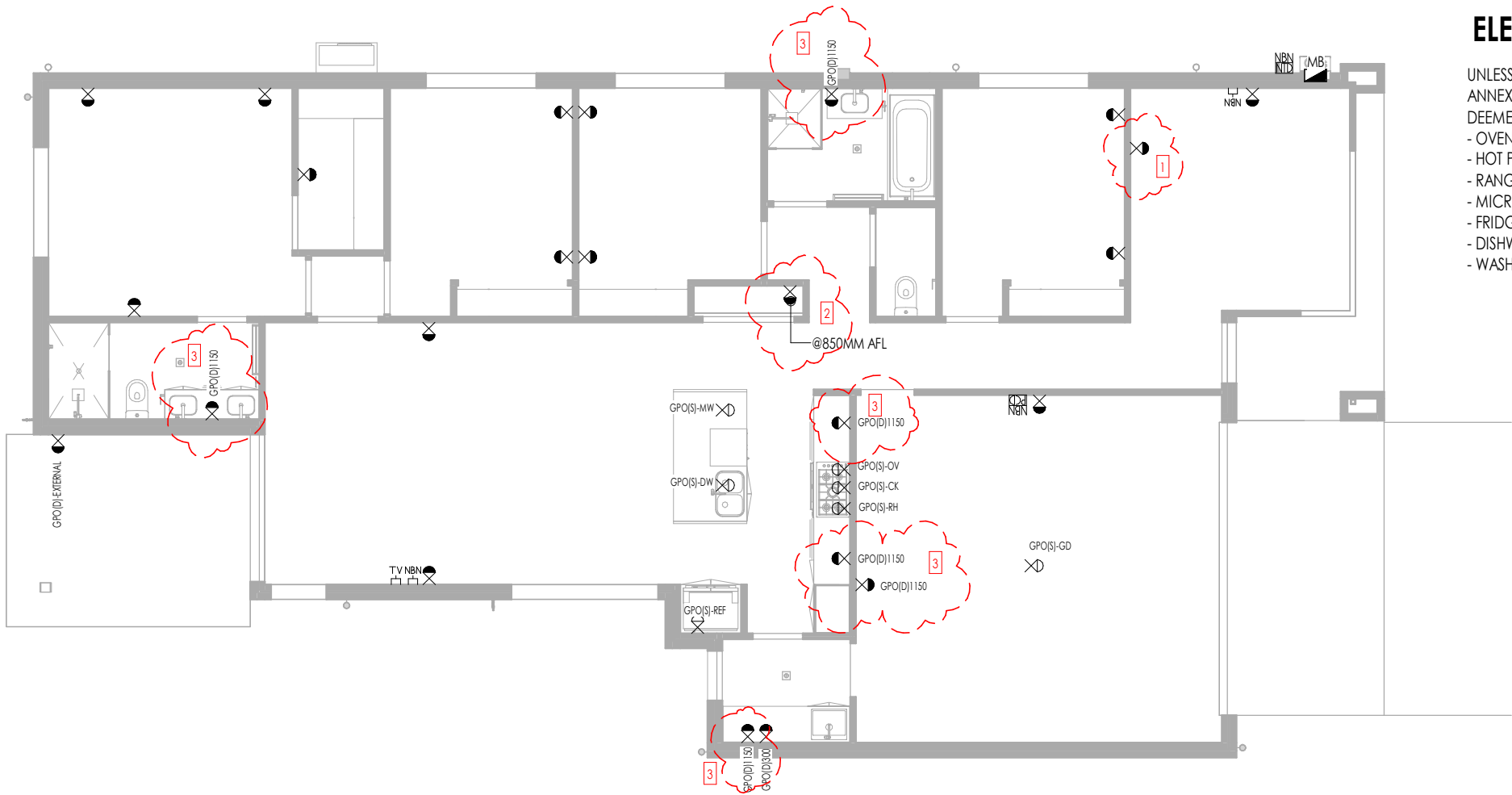
ELECTRICAL LEGEND

| | |
|--|--|
| | OUTDOOR CEILING FAN WITH LIGHT |
| | OUTDOOR CEILING FAN |
| | INDOOR CEILING FAN WITH LIGHT |
| | INDOOR CEILING FAN |
| | EXHAUST FAN |
| | FEATURE LIGHT |
| | EXTERNAL SENSORED LIGHT |
| | 1200mm FLUORO LIGHT - SINGLE |
| | 1200mm FLUORO LIGHT - DOUBLE |
| | RECESSED LED DOWN LIGHT |
| | PENDANT DOWN LIGHT |
| | WALL LIGHT (EXTERNAL) |
| | WALL LIGHT (INTERNAL) |
| | WALL MOUNTED STAIRS LIGHT |
| | RECESSED FLOOR LIGHT |
| | MULTIPLE RAIL SPOT LIGHT |
| | SINGLE RAIL LIGHT |
| | HEAT LAMPS (2 LIGHTS) |
| | 2-LIGHT HEAT LAMP COMBINATION WITH EXHAUST FAN |
| | 4-LIGHT HEAT LAMP COMBINATION WITH EXHAUST FAN AND LIGHT |
| | LIGHT AND FAN SWITCH(S) |
| | AIRCONDITIONING CONTROL PANEL |
| | SMOKE DETECTOR |
| | NBN data point |
| | TV COAXIAL POINT |
| | TELSTRA PHONE LINE |
| | SINGLE POWER POINT |
| | DOUBLE POWER POINT |
| | JUNCTION BOX |
| | METER BOX |
| | NETWORK TERMINATION DEVICE - GPO(S) REQ. |
| | NBN PREMISES CONNECTION DEVICE - GPO(S) EXT. REQ. |
| | INTERCOM WITH CAMERA |
| | SECURITY CAMERA |
| | AIR CONDITIONING OUTLET |

ELECTRICAL NOTE

UNLESS STATED OTHERWISE ON THE DRAWINGS OR ANNEXURES, THE FOLLOWING POWER POINT ARE DEEMED TO BE INCLUDED IN THE CONTRACT:

- OVEN - 1 NO. SINGLE POWER POINT
- HOT PLATE - 1 NO. SINGLE POWER POINT
- RANGEHOOD - 1 NO. SINGLE POWER POINT
- MICROWAVE - 1 NO. SINGLE POWER POINT
- FRIDGE - 1 NO. SINGLE POWER POINT
- DISHWASHER - 1 NO. SINGLE POWER POINT
- WASHING MACHINE - 1 NO. SINGLE POWER POINT



GROUND - ELECTRICAL LAYOUT

1 : 100

SITE ISSUE

| REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|---------------------------------------|------------|----|-------------------------|---------------------|
| A | CONCEPT DESIGN B | 26.09.2021 | LX | LOT NO: 168 | 'NEW RESIDENCE' |
| B | CONTRACT ISSUE | 04.01.2022 | LX | AREA: 500m ² | / - / |
| C | BA COORDINATION | 19.01.2022 | LX | PLAN NO: / | / |
| D | BA COORDINATION | 02.03.2022 | LX | WARD: ? | |
| E | CONSTRUCTION ISSUE | 09.03.2022 | LX | SUBURB / | |
| F | SITE ISSUE | 16.03.2022 | LX | AUTHORITY: B.C.C | |
| G | SITE ISSUE | 24.03.2022 | LX | | |
| H | SITE ISSUE | 02.04.2022 | LX | | |
| I | RCP & ELECTRICAL & LIGHTING AMENDMENT | 25.06.2022 | LX | | |

SHEET NUMBER & NAME
230.00 ELECTRICAL LAYOUT - GROUND FLOOR

KEYNOTE LEGEND

| | |
|-----|---------------|
| ACO | ACOUSTIC WALL |
| MH | MANHOLE |
| SA | SMOKE ALARM |

ELECTRICAL SCHEDULE

| | |
|----|-----------------------------------|
| 6 | CEILING FAN - INDOORS |
| 1 | CEILING FAN - OUTDOORS |
| 2 | EXTERNAL SENSORED LIGHT |
| 23 | GPO DOUBLE |
| 1 | GPO DOUBLE (EXTERNAL) |
| 7 | GPO SINGLE |
| 2 | HEAT LAMP (2 LIGHTS) WITH EXHAUST |
| 33 | LED RECESSED DOWNLIGHT |
| 13 | LIGHT AND/FAN SWITCH |
| 2 | NBN POINT |
| 6 | SMOKE DETECTOR |
| 1 | TV POINT |
| 3 | WALL LIGHT (EXTERNAL) |

ELECTRICAL LEGEND

| | |
|--|--|
| | OUTDOOR CEILING FAN WITH LIGHT |
| | OUTDOOR CEILING FAN |
| | INDOOR CEILING FAN WITH LIGHT |
| | INDOOR CEILING FAN |
| | EXHAUST FAN |
| | FEATURE LIGHT |
| | EXTERNAL SENSORED LIGHT |
| | 1200mm FLUORO LIGHT - SINGLE |
| | 1200mm FLUORO LIGHT - DOUBLE |
| | RECESSED LED DOWN LIGHT |
| | PENDANT DOWN LIGHT |
| | WALL LIGHT (EXTERNAL) |
| | WALL LIGHT (INTERNAL) |
| | WALL MOUNTED STAIRS LIGHT |
| | RECESSED FLOOR LIGHT |
| | MULTIPLE RAIL SPOT LIGHT |
| | SINGLE RAIL LIGHT |
| | HEAT LAMPS (2 LIGHTS) |
| | 2-LIGHT HEAT LAMP COMBINATION WITH EXHAUST FAN |
| | 4-LIGHT HEAT LAMP COMBINATION WITH EXHAUST FAN AND LIGHT |
| | LIGHT AND FAN SWITCH(S) |
| | AIRCONDITIONING CONTROL PANEL |
| | SMOKE DETECTOR |
| | NBN data point |
| | TV COAXIAL POINT |
| | TELSTRA PHONE LINE |
| | SINGLE POWER POINT |
| | DOUBLE POWER POINT |
| | JUNCTION BOX |
| | METER BOX |
| | NETWORK TERMINATION DEVICE - GPO(S) REQ. |
| | NBN PREMISES CONNECTION DEVICE - GPO(S) EXT. REQ. |
| | INTERCOM WITH CAMERA |
| | SECURITY CAMERA |
| | AIR CONDITIONING OUTLET |

SMOKE DETECTORS

SMOKE ALARM DETECTORS TO BE INSTALLED IN ACCORDANCE WITH AS 3786-2014, NCC PART 3.7.2 & LOCAL QFES LEGISLATION.

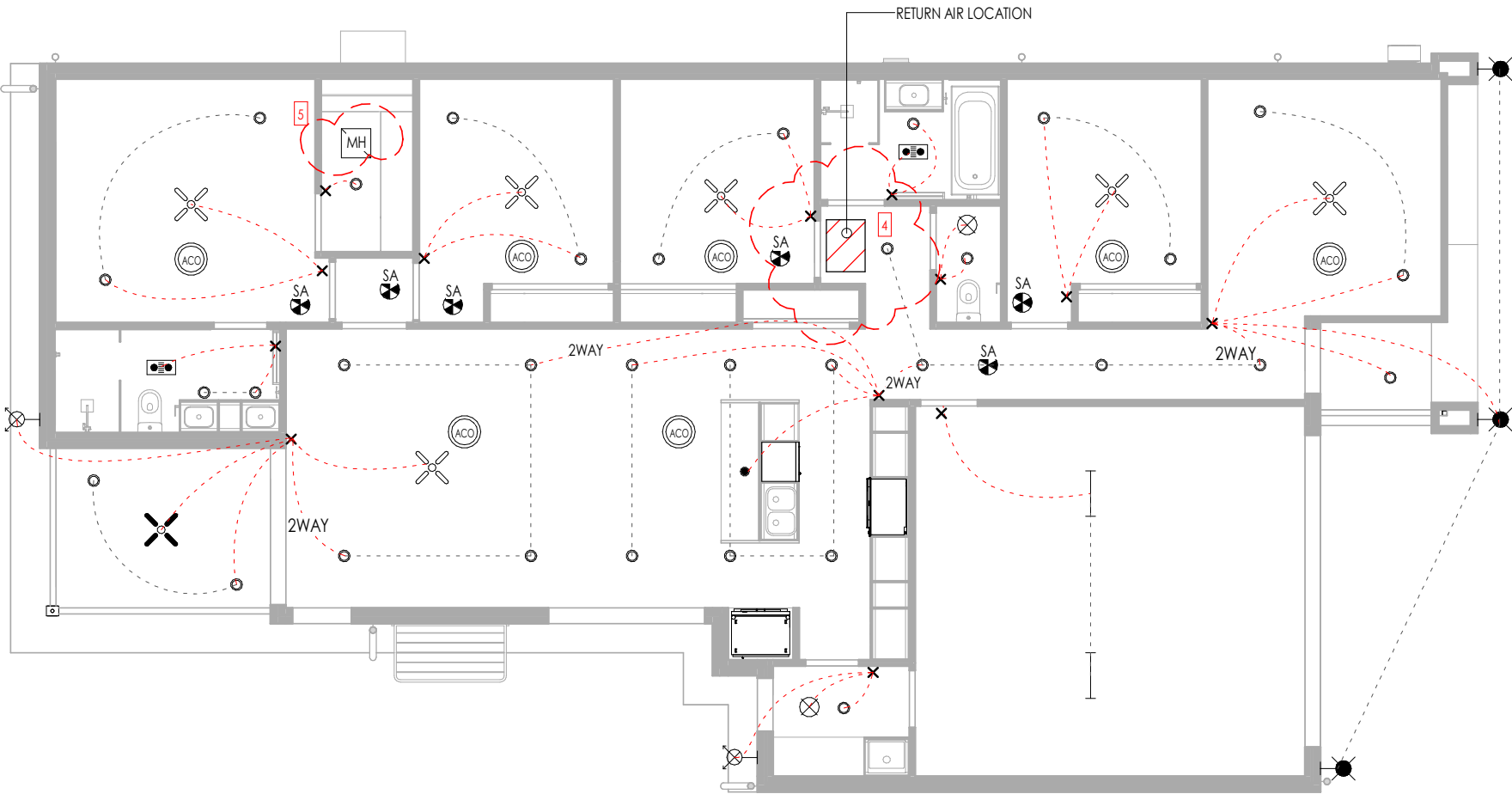
SMOKE ALARMS IN THE DWELLING MUST:
- BE PHOTOELECTRIC (AS3786-2014); AND
- NOT ALSO CONTAIN AN IONISATION SENSOR; AND
- BE HARD-WIRED TO THE MAINS POWER SUPPLY WITH A SECONDARY POWER SOURCE (I.E. BATTERY); AND
- BE INTERCONNECTED WITH EVERY OTHER SMOKE ALARM IN THE DWELLING SO ALL ACTIVATE TOGETHER.

SMOKE DETECTORS TO BE LOCATED:
- IN EACH BEDROOM; AND
- HALLWAYS (OR ROOMS) THAT CONNECT BEDROOMS; AND
- ON THE MOST LIKELY PATH OF TRAVEL TO AN EXIT ON ANY LEVELS THAT DO NOT CONTAIN BEDROOMS.

SMOKE DETECTORS MUST BE PLACED MIN. 300MM AWAY FROM WALLS AND LIGHT FITTINGS, AND MIN. 400MM FROM AIR-CONDITIONING VENTS OR BLADES OF A CEILING FAN.

EXHAUST FAN NOTE

EXHAUST FAN/MECHANICAL TO BE DUCTED OUT EXTERNALLY WHERE APPLICABLE



GROUND FLOOR - RCP ELECTRICAL/LIGHTING

1 : 100

SITE ISSUE

| REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|---------------------------------------|------------|----|-------------------------|---------------------|
| A | CONCEPT DESIGN B | 26.09.2021 | LX | LOT NO: 168 | 'NEW RESIDENCE' |
| B | CONTRACT ISSUE | 04.01.2022 | LX | AREA: 500m ² | / - / |
| C | BA COORDINATION | 19.01.2022 | LX | PLAN NO: / | / |
| D | BA COORDINATION | 02.03.2022 | LX | WARD: ? | |
| E | CONSTRUCTION ISSUE | 09.03.2022 | LX | SUBURB / | |
| F | SITE ISSUE | 16.03.2022 | LX | AUTHORITY: B.C.C | |
| G | SITE ISSUE | 24.03.2022 | LX | | |
| H | SITE ISSUE | 02.04.2022 | LX | | |
| I | RCP & ELECTRICAL & LIGHTING AMENDMENT | 25.06.2022 | LX | | |

SHEET NUMBER & NAME
240.00 LIGHTING LAYOUT - GROUND FLOOR

ELEVATION NOTES

REFER TO SHEET 100.10 FOR CONSTRUCTION METHODOLOGY FOR ITEMS SUCH AS:

- ROOFING
- WALL FRAMING
- CEILINGS
- EXTERNAL WALL LININGS
- INTERNAL WALL LININGS
- INSULATION

ALL LIGHTWEIGHT CLADDING TO BE FIXED USING 70x35mm TIMBER BATTENS UNO

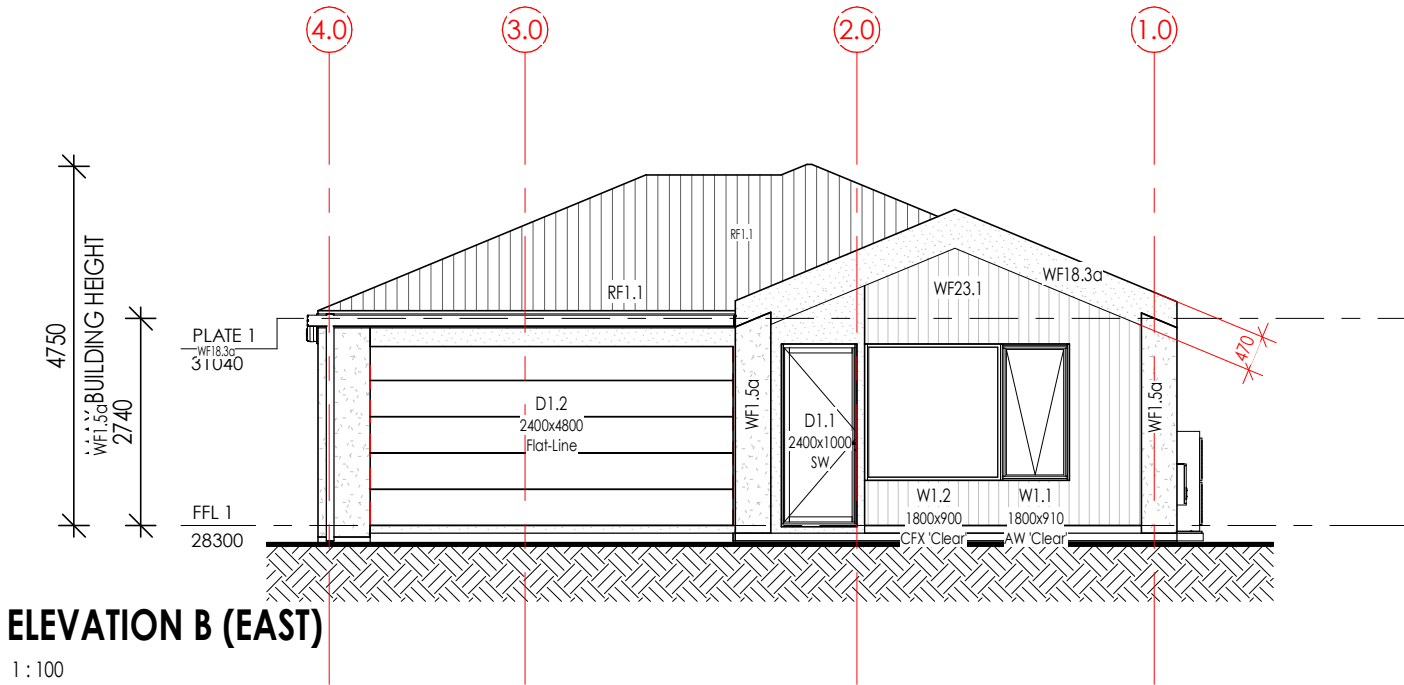
ALL UNTREATED TIMBERS USED IN ROOF FRAMING ARE TO BE FULLY CONCEALED BY CLADDING

CEILING AND SOFFIT FIXED USING 70x35mm TIMBER BATTENS UNO

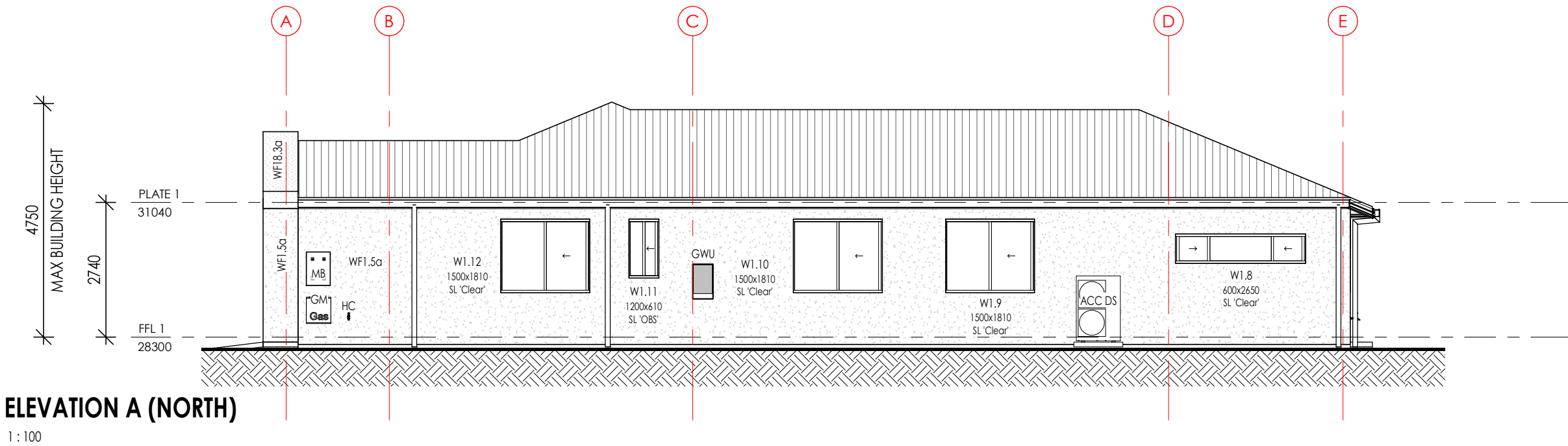
CODES USED FOR FINISHES ARE ELLOBORATED MORE IN DETAIL IN THE FINISH SCHEDULES

FLASHING WHERE VISIBLE FROM GROUND MUST MATCH OR CONTRAST WALL UNO. REFER TO FINISH SCHEDULE FOR CONFIRMATION

SLAB AND FOOTINGS AS PER ENGINEERS DETAILS



ELEVATION B (EAST)
1 : 100



ELEVATION A (NORTH)
1 : 100

| KEYNOTE LEGEND | |
|----------------|---|
| ACC DS | AIR-CONDITIONING CONDENSER - DUCTED SYSTEM |
| GM | GAS METER |
| GWU | GAS HOT WATER UNIT |
| HC | HOSE COCK |
| MB | ELECTRICAL METERBOARD |
| RF1.1 | METAL ROOF SHEETING |
| WF1.5a | BRICKWORK RENEDERED & PAINT FINISH A |
| WF18.3a | NRG GREENBOARD 60mm RENDERED AND PAINTED FINISH |
| WF23.1 | TIMBER FINISH |

SITE ISSUE

| REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|---------------------------------------|------------|----|-------------------------|---------------------|
| A | CONCEPT DESIGN B | 26.09.2021 | LX | LOT NO: 168 | 'NEW RESIDENCE' |
| B | CONTRACT ISSUE | 04.01.2022 | LX | AREA: 500m ² | / - / |
| C | BA COORDINATION | 19.01.2022 | LX | PLAN NO: / | / |
| D | BA COORDINATION | 02.03.2022 | LX | WARD: ? | |
| E | CONSTRUCTION ISSUE | 09.03.2022 | LX | SUBURB / | |
| F | SITE ISSUE | 16.03.2022 | LX | AUTHORITY: B.C.C | |
| G | SITE ISSUE | 24.03.2022 | LX | | |
| H | SITE ISSUE | 02.04.2022 | LX | | |
| I | RCP & ELECTRICAL & LIGHTING AMENDMENT | 25.06.2022 | LX | | |

SHEET NUMBER & NAME
300.00 ELEVATIONS

ELEVATION NOTES

REFER TO SHEET 100.10 FOR CONSTRUCTION METHODOLOGY FOR ITEMS SUCH AS:
-ROOFING
-WALL FRAMING
-CEILINGS
-EXTERNAL WALL LININGS
-INTERNAL WALL LININGS
-INSULATION

ALL LIGHTWEIGHT CLADDING TO BE FIXED USING 70x35mm TIMBER BATTENS UNO

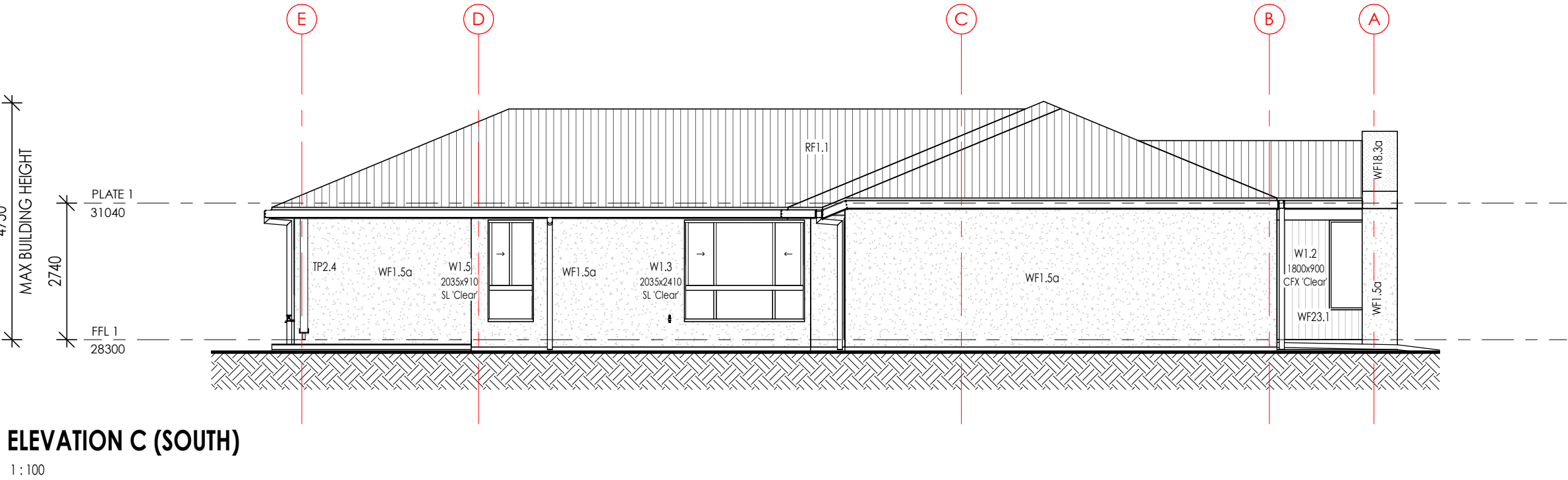
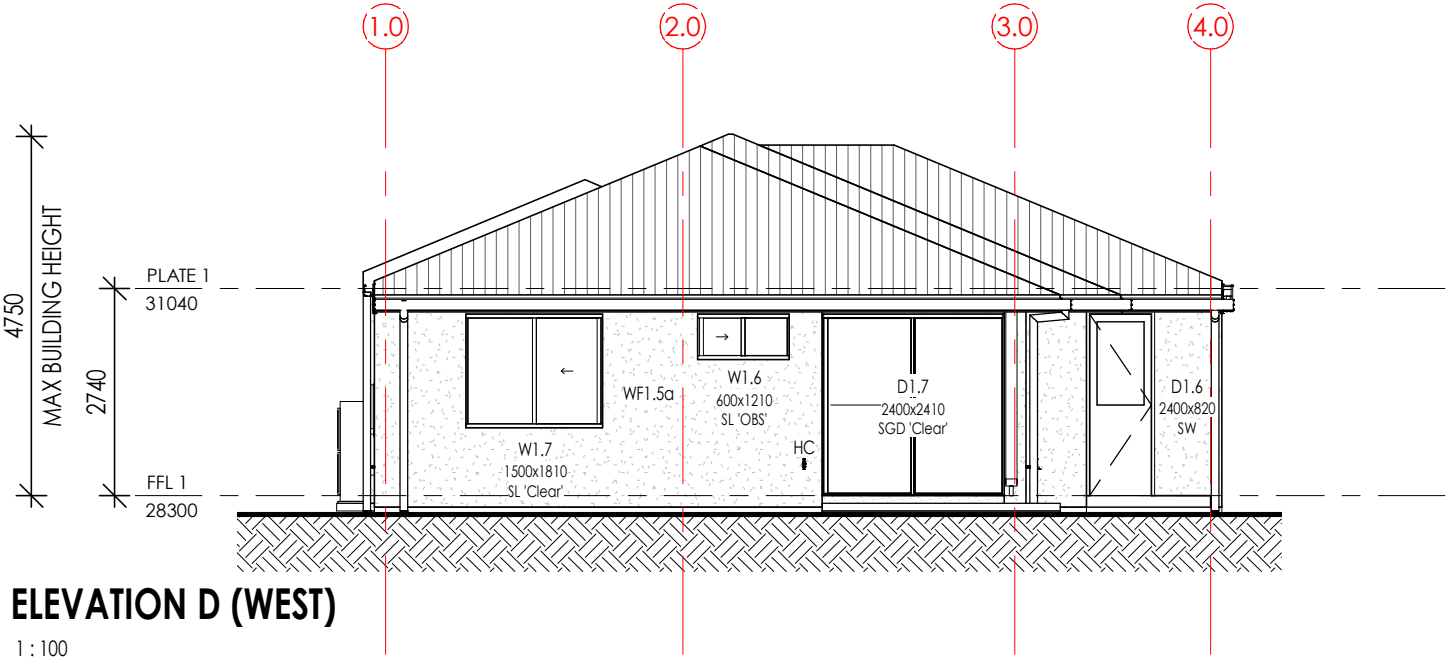
ALL UNTREATED TIMBERS USED IN ROOF FRAMING ARE TO BE FULLY CONCEALED BY CLADDING

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FLASHING WHERE VISIBLE FROM GROUND MUST MATCH OR CONTRAST WALL UNO. REFER TO FINISH SCHEDULE FOR CONFIRMATION

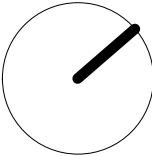
SLAB AND FOOTINGS AS PER ENGINEERS DETAILS

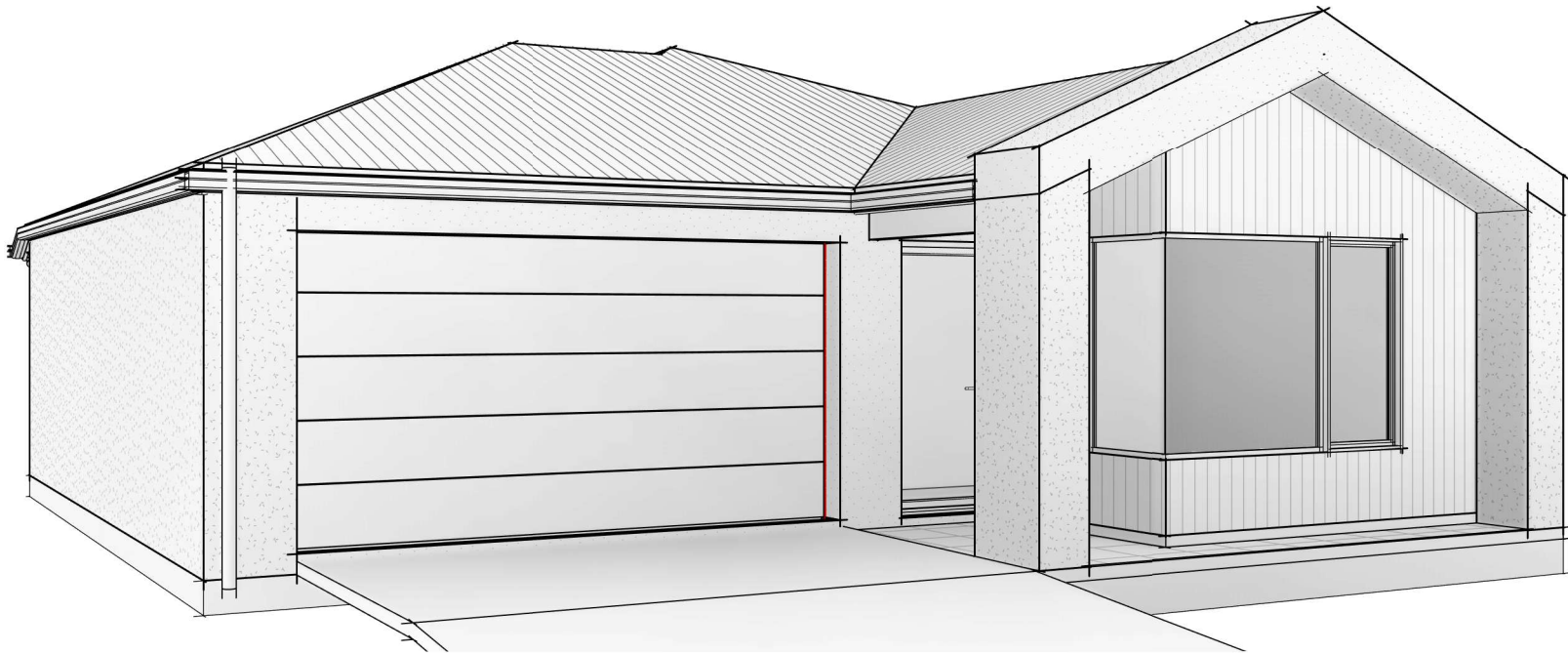


| KEYNOTE LEGEND | |
|----------------|---|
| HC | HOSE COCK |
| RF1.1 | METAL ROOF SHEETING |
| TP2.4 | 150x150 HWD SAWN TIMBER POST (STIRRUP FIXED) |
| WF1.5a | BRICKWORK RENEDERED & PAINT FINISH A |
| WF18.3a | NRG GREENBOARD 60mm RENDERED AND PAINTED FINISH |
| WF23.1 | TIMBER FINISH |

SITE ISSUE

| REV | | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|--|---------------------------------------|------------|----|-------------------------|--|
| A | | CONCEPT DESIGN B | 26.09.2021 | LX | LOT NO: 168 | 'NEW RESIDENCE' |
| B | | CONTRACT ISSUE | 04.01.2022 | LX | AREA: 500m ² | / - / |
| C | | BA COORDINATION | 19.01.2022 | LX | PLAN NO: / | / |
| D | | BA COORDINATION | 02.03.2022 | LX | WARD: ? | |
| E | | CONSTRUCTION ISSUE | 09.03.2022 | LX | SUBURB / | |
| F | | SITE ISSUE | 16.03.2022 | LX | AUTHORITY: B.C.C | |
| G | | SITE ISSUE | 24.03.2022 | LX | | |
| H | | SITE ISSUE | 02.04.2022 | LX | | |
| I | | RCP & ELECTRICAL & LIGHTING AMENDMENT | 25.06.2022 | LX | | |
| | | | | | | SHEET NUMBER & NAME 300.01 ELEVATIONS |





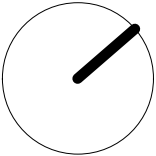
FRONT LEFT PERSPECTIVE

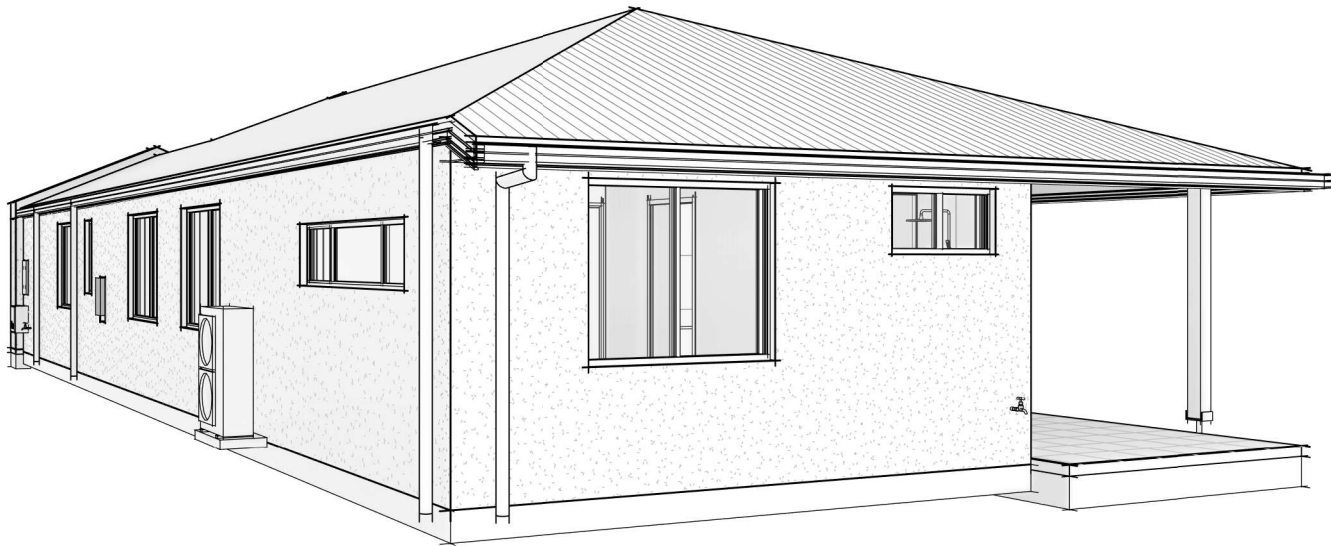
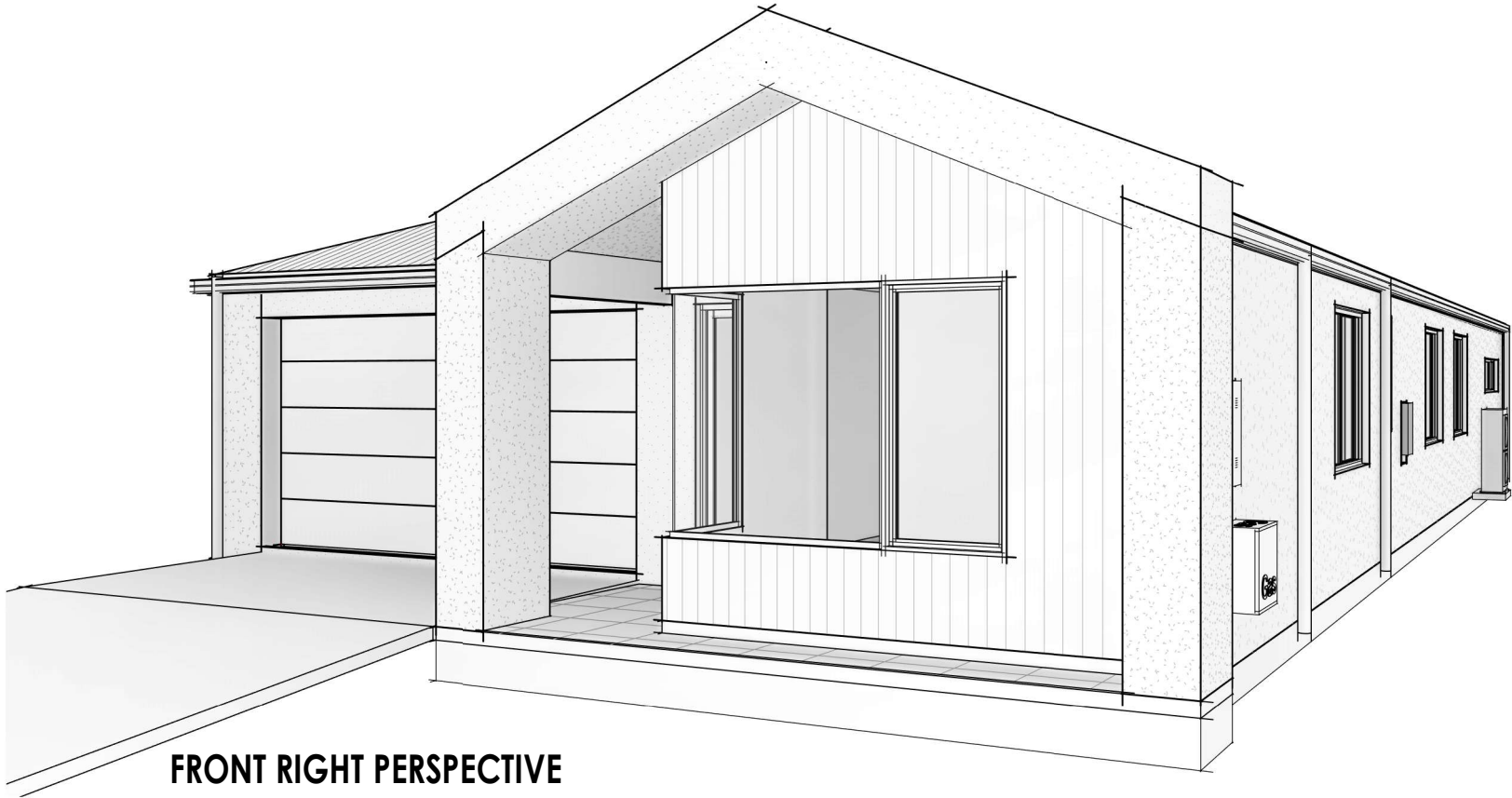


BACK LEFT PERSPECTIVE

SITE ISSUE

| | | | | | | | |
|--|--|-----|---------------------------------------|------------|----|-------------------------|-------------------------------|
| | | REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
| | | A | CONCEPT DESIGN B | 26.09.2021 | LX | LOT NO: 168 | 'NEW RESIDENCE' |
| | | B | CONTRACT ISSUE | 04.01.2022 | LX | AREA: 500m ² | / - / |
| | | C | BA COORDINATION | 19.01.2022 | LX | PLAN NO: / | / |
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| | | E | CONSTRUCTION ISSUE | 09.03.2022 | LX | SUBURB / | |
| | | F | SITE ISSUE | 16.03.2022 | LX | AUTHORITY: B.C.C | |
| | | G | SITE ISSUE | 24.03.2022 | LX | | SHEET NUMBER & NAME |
| | | H | SITE ISSUE | 02.04.2022 | LX | | 310.00 PERSPECTIVE ELEVATIONS |
| | | I | RCP & ELECTRICAL & LIGHTING AMENDMENT | 25.06.2022 | LX | | |

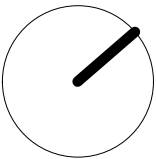




BACK RIGHT PERSPECTIVE

SITE ISSUE

| REV | | DESCRIPTION | DATE | BY | RP DESCRIPTION | | PROJECT DESCRIPTION | |
|-----|--|---------------------------------------|------------|----|----------------|-------------------|-------------------------------|--|
| A | | CONCEPT DESIGN B | 26.09.2021 | LX | LOT NO: | 168 | 'NEW RESIDENCE' | |
| B | | CONTRACT ISSUE | 04.01.2022 | LX | AREA: | 500m ² | / - / | |
| C | | BA COORDINATION | 19.01.2022 | LX | PLAN NO: | / | / | |
| D | | BA COORDINATION | 02.03.2022 | LX | WARD: | ? | | |
| E | | CONSTRUCTION ISSUE | 09.03.2022 | LX | SUBURB | / | SHEET NUMBER & NAME | |
| F | | SITE ISSUE | 16.03.2022 | LX | AUTHORITY: | B.C.C | 310.01 PERSPECTIVE ELEVATIONS | |
| G | | SITE ISSUE | 24.03.2022 | LX | | | | |
| H | | SITE ISSUE | 02.04.2022 | LX | | | | |
| I | | RCP & ELECTRICAL & LIGHTING AMENDMENT | 25.06.2022 | LX | | | | |



KEYNOTE LEGEND

ELEVATION NOTES

REFER TO SHEET 100.10 FOR CONSTRUCTION METHODOLOGY FOR ITEMS SUCH AS:

- ROOFING
- WALL FRAMING
- CEILINGS
- EXTERNAL WALL LININGS
- INTERNAL WALL LININGS
- INSULATION

ALL LIGHTWEIGHT CLADDING TO BE FIXED USING 70x35mm TIMBER BATTENS UNO

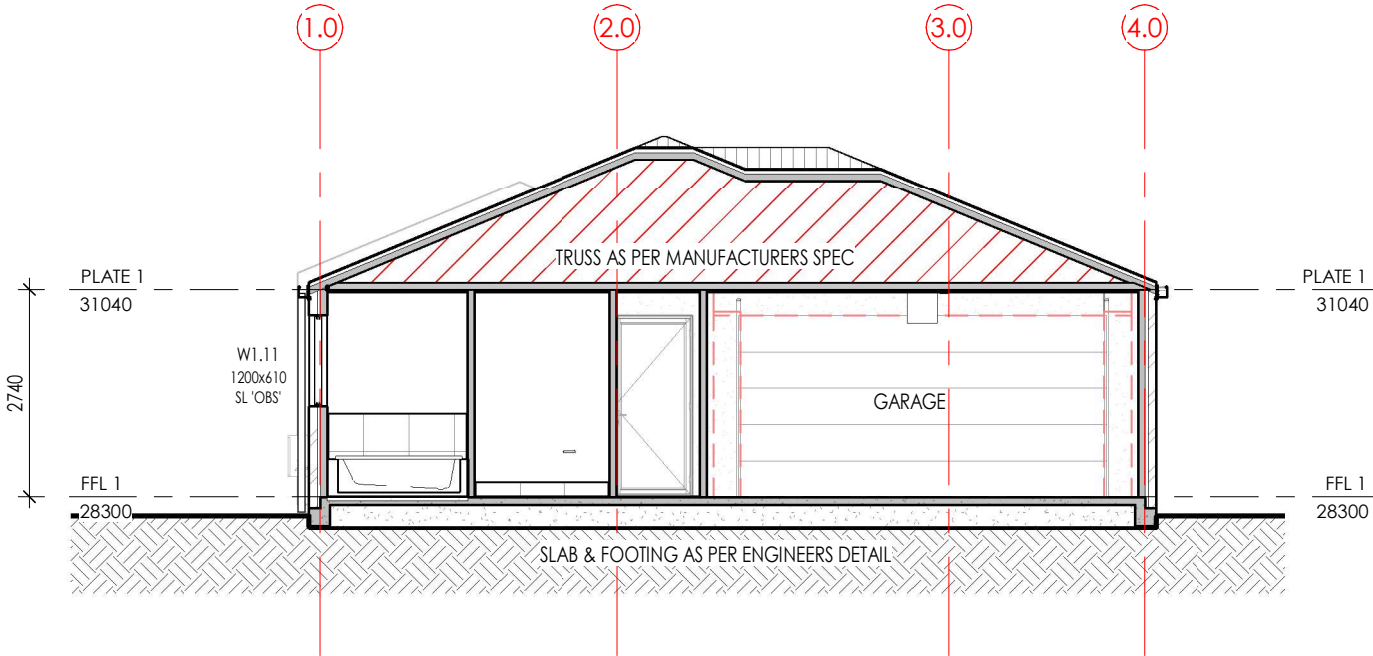
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CODES USED FOR FINISHES ARE ELLOBORATED MORE IN DETAIL IN THE FINISH SCHEDULES

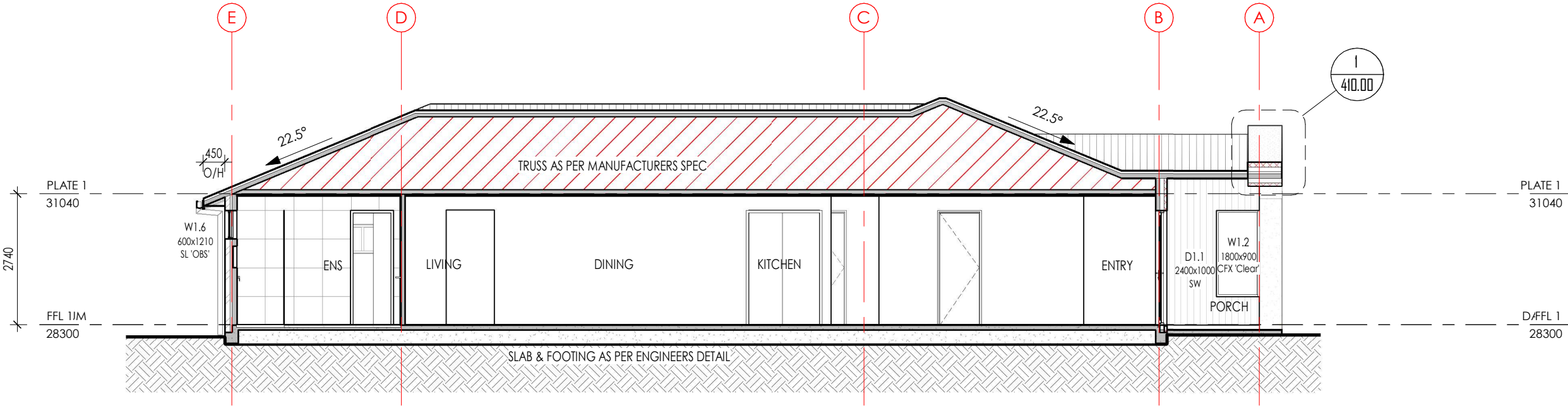
FLASHING WHERE VISIBLE FROM GROUND MUST MATCH OR CONTRAST WALL UNO. REFER TO FINISH SCHEDULE FOR CONFIRMATION

SLAB AND FOOTINGS AS PER ENGINEERS DETAILS



Section 2

1 : 100



Section 1

1 : 100

SITE ISSUE

| REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|---------------------------------------|------------|----|-------------------------|---------------------|
| A | CONCEPT DESIGN B | 26.09.2021 | LX | LOT NO: 168 | 'NEW RESIDENCE' |
| B | CONTRACT ISSUE | 04.01.2022 | LX | AREA: 500m ² | / - / |
| C | BA COORDINATION | 19.01.2022 | LX | PLAN NO: / | / |
| D | BA COORDINATION | 02.03.2022 | LX | WARD: ? | |
| E | CONSTRUCTION ISSUE | 09.03.2022 | LX | SUBURB / | |
| F | SITE ISSUE | 16.03.2022 | LX | AUTHORITY: B.C.C | |
| G | SITE ISSUE | 24.03.2022 | LX | | |
| H | SITE ISSUE | 02.04.2022 | LX | | |
| I | RCP & ELECTRICAL & LIGHTING AMENDMENT | 25.06.2022 | LX | | |

KEYNOTE LEGEND

ELEVATION NOTES

REFER TO SHEET 100.10 FOR CONSTRUCTION METHODOLOGY FOR ITEMS SUCH AS:

- ROOFING
- WALL FRAMING
- CEILINGS
- EXTERNAL WALL LININGS
- INTERNAL WALL LININGS
- INSULATION

ALL LIGHTWEIGHT CLADDING TO BE FIXED USING 70x35mm TIMBER BATTENS UNO

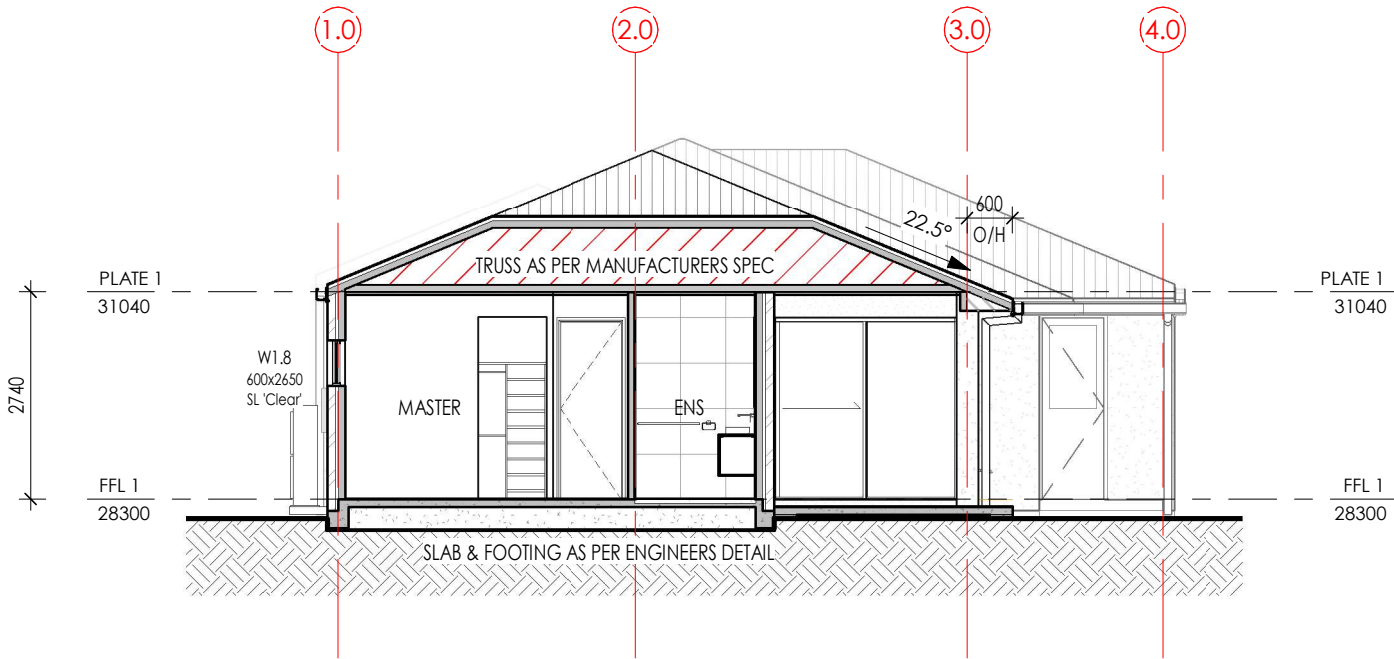
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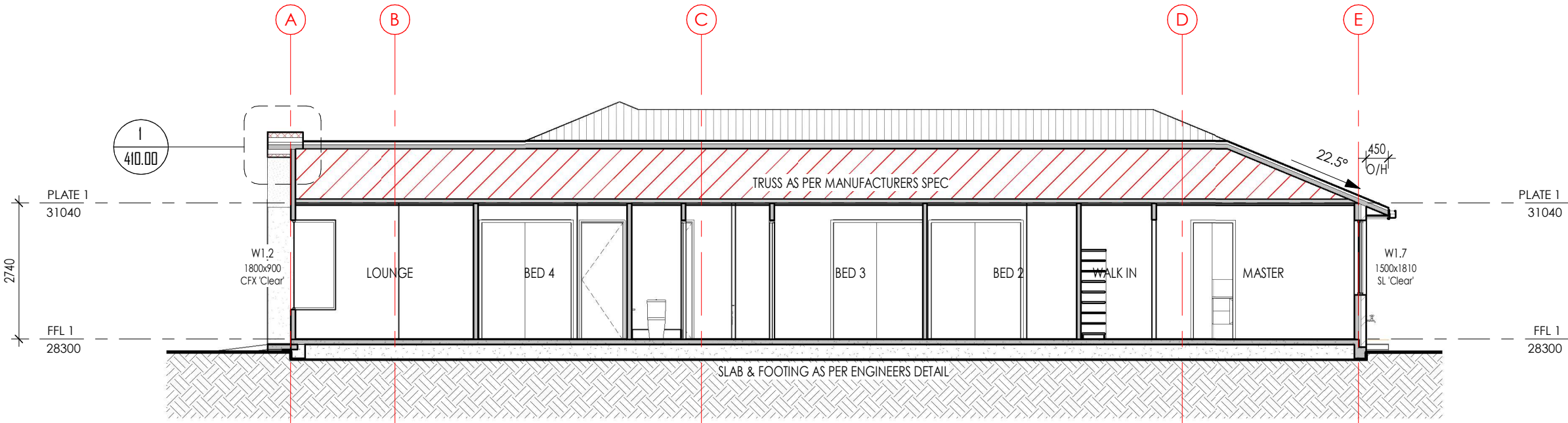
FLASHING WHERE VISIBLE FROM GROUND MUST MATCH OR CONTRAST WALL UNO. REFER TO FINISH SCHEDULE FOR CONFIRMATION

SLAB AND FOOTINGS AS PER ENGINEERS DETAILS



Section 4

1 : 100



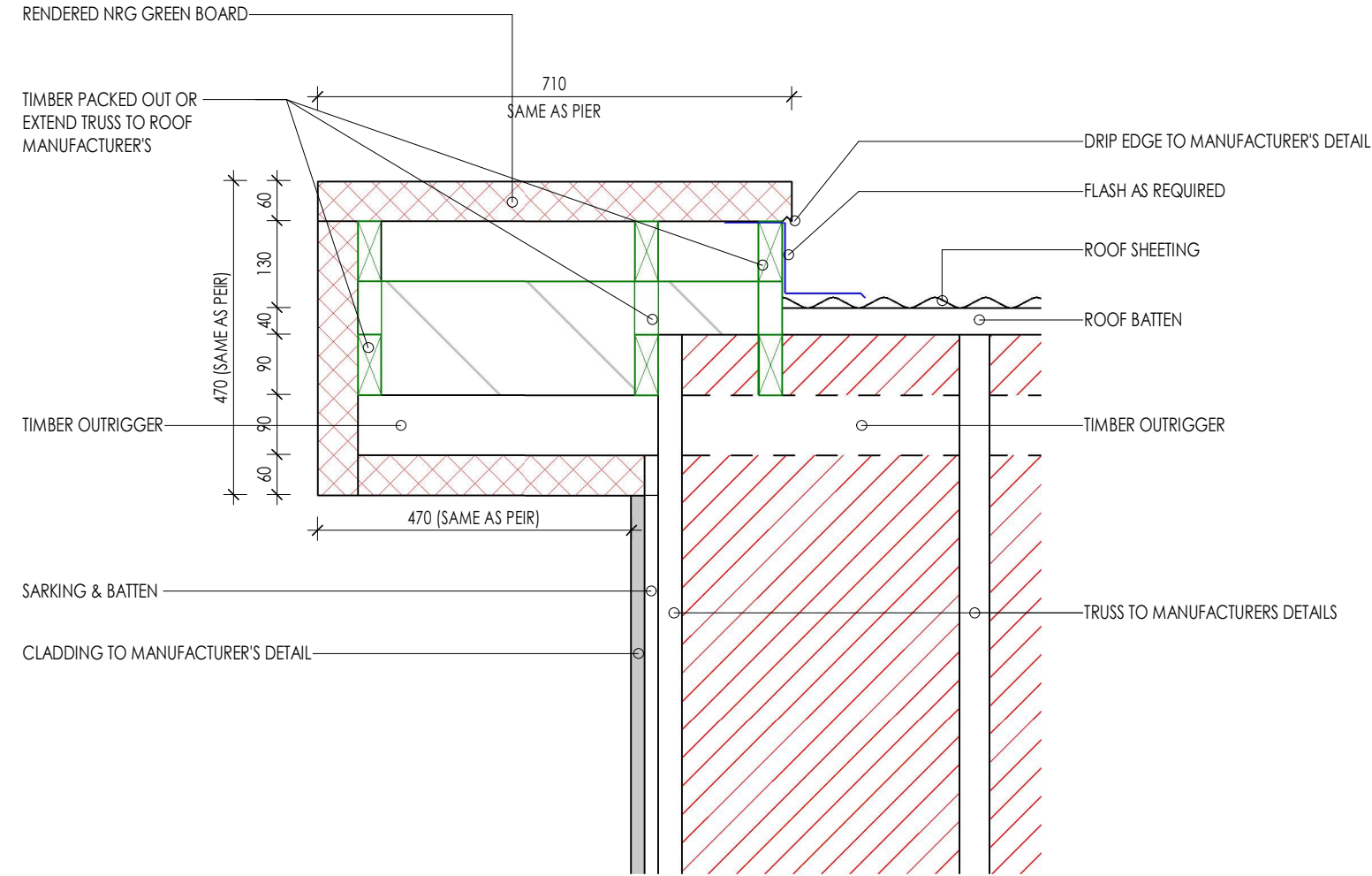
Section 3

1 : 100

SITE ISSUE

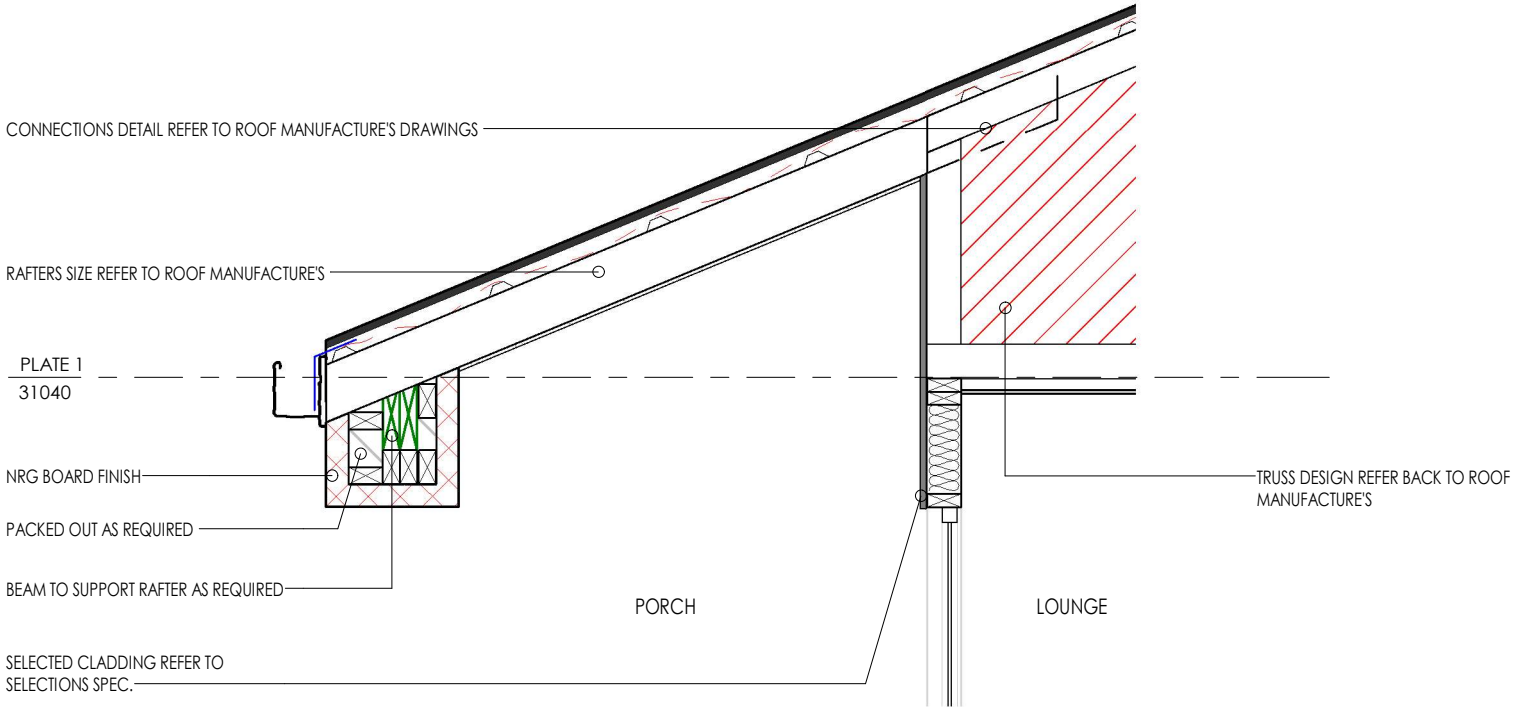
| REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|---------------------------------------|------------|----|-------------------------|---------------------|
| A | CONCEPT DESIGN B | 26.09.2021 | LX | LOT NO: 168 | 'NEW RESIDENCE' |
| B | CONTRACT ISSUE | 04.01.2022 | LX | AREA: 500m ² | / - / |
| C | BA COORDINATION | 19.01.2022 | LX | PLAN NO: / | / |
| D | BA COORDINATION | 02.03.2022 | LX | WARD: ? | |
| E | CONSTRUCTION ISSUE | 09.03.2022 | LX | SUBURB / | |
| F | SITE ISSUE | 16.03.2022 | LX | AUTHORITY: B.C.C | |
| G | SITE ISSUE | 24.03.2022 | LX | | |
| H | SITE ISSUE | 02.04.2022 | LX | | |
| I | RCP & ELECTRICAL & LIGHTING AMENDMENT | 25.06.2022 | LX | | |

SHEET NUMBER & NAME
400.01 SECTIONS



Section 3 - Callout 1

1 : 10

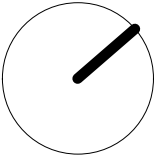


Section 5 - Callout 1

1 : 20

SITE ISSUE

| REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|---------------------------------------|------------|----|-------------------------|---------------------|
| A | CONCEPT DESIGN B | 26.09.2021 | LX | LOT NO: 168 | 'NEW RESIDENCE' |
| B | CONTRACT ISSUE | 04.01.2022 | LX | AREA: 500m ² | / - / |
| C | BA COORDINATION | 19.01.2022 | LX | PLAN NO: / | / |
| D | BA COORDINATION | 02.03.2022 | LX | WARD: ? | |
| E | CONSTRUCTION ISSUE | 09.03.2022 | LX | SUBURB / | |
| F | SITE ISSUE | 16.03.2022 | LX | AUTHORITY: B.C.C | |
| G | SITE ISSUE | 24.03.2022 | LX | | |
| H | SITE ISSUE | 02.04.2022 | LX | | |
| I | RCP & ELECTRICAL & LIGHTING AMENDMENT | 25.06.2022 | LX | | |



DOOR SCHEDULE

| LEVEL | MARK | HEIGHT | WIDTH | HEAD | STYLE | CONFIGURATION | FRAME FINISH | PANEL FINISH | COMMENTS |
|-------|------|--------|-------|------|---|---------------|--------------------------|-------------------------------------|----------|
| FFL 1 | 1.1 | 2400 | 1000 | 2400 | EXTERNAL SWING DOOR - SINGLE | 2400x1000 | Painted | Refer to Finish Schedule | JST1 |
| FFL 1 | 1.2 | 2400 | 4800 | 2400 | PANEL LIFT DOOR - 'FLATLINE' | 24.48PLD | Metal | Powderocated Aluminium | |
| FFL 1 | 1.3 | 2400 | 820 | 2400 | INTERNAL SWING DOOR - SINGLE | 2400x820 | Painted Timber | Painted | |
| FFL 1 | 1.4 | 2400 | 820 | 2400 | INTERNAL SWING DOOR - SINGLE | 2400x820 | Painted Timber | Painted | |
| FFL 1 | 1.5 | 2400 | 820 | 2400 | CAVITY SLIDING DOOR | 2400x820 | Painted | Painted Timber | |
| FFL 1 | 1.6 | 2400 | 820 | 2400 | EXTERNAL SWING DOOR (HALF LITE) | 2400x820 | Painted Timber | Painted Timber w/Clear Glass Infill | |
| FFL 1 | 1.7 | 2400 | 2410 | 2400 | SLIDING GLASS DOOR - 2 PANEL (SIDE OPENING) | 2400x2400 | Powdercoated Aluminium | 'Clear' | |
| FFL 1 | 1.8 | 2400 | 820 | 2400 | INTERNAL SWING DOOR - SINGLE | 2400x820 | Painted | Painted Timber | |
| FFL 1 | 1.9 | 2400 | 820 | 2400 | CAVITY SLIDING DOOR | 2400x820 | Painted | Painted Timber | |
| FFL 1 | 1.10 | 2400 | 820 | 2400 | INTERNAL SWING DOOR - SINGLE | 2400x820 | Painted | Painted Timber | |
| FFL 1 | 1.11 | 2400 | 1800 | 2400 | ROBE SLIDER - 2 PANEL | 2400x1800 | Refer to Finish Schedule | Refer to Finish Schedule | |
| FFL 1 | 1.12 | 2400 | 1500 | 2400 | ROBE SLIDER - 2 PANEL | 2400x1500 | Refer to Finish Schedule | Refer to Finish Schedule | |
| FFL 1 | 1.13 | 2400 | 820 | 2400 | INTERNAL SWING DOOR - SINGLE | 2400x820 | Painted | Painted Timber | |
| FFL 1 | 1.14 | 2400 | 1800 | 2400 | ROBE SLIDER - 2 PANEL | 2400x1800 | Refer to Finish Schedule | Refer to Finish Schedule | |
| FFL 1 | 1.15 | 2400 | 820 | 2400 | INTERNAL SWING DOOR - SINGLE | 2400x820 | Painted | Painted Timber | |
| FFL 1 | 1.16 | 2400 | 820 | 2400 | INTERNAL SWING DOOR - SINGLE | 2400x820 | Painted | Painted Timber | |
| FFL 1 | 1.17 | 2400 | 820 | 2400 | INTERNAL SWING DOOR - SINGLE | 2400x820 | Painted | Painted Timber | |
| FFL 1 | 1.18 | 2400 | 1800 | 2400 | ROBE SLIDER - 2 PANEL | 2400x1800 | Refer to Finish Schedule | Refer to Finish Schedule | |

DOOR & WINDOW REQUIREMENTS

PROTECTION OF OPENABLE WINDOWS - BEDROOMS

WINDOWS MUST BE COMPLIANT WITH:
BCA VOL. 2 PART 3.9.2.6
"PROTECTION OF OPENABLE WINDOWS - BEDROOMS"

(A) A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION, IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2 M OR MORE ABOVE THE SURFACE BENEATH.

(B) WHERE THE LOWEST LEVEL OF THE WINDOW OPENING IS LESS THAN 1.7 M ABOVE THE FLOOR, A WINDOW OPENING COVERED BY (A) MUST COMPLY WITH THE FOLLOWING:
(I) THE OPENABLE PORTION OF THE WINDOW MUST BE PROTECTED WITH—
(A) A DEVICE TO RESTRICT THE WINDOW OPENING; OR
(B) A SCREEN WITH SECURE FITTINGS.
(II) A DEVICE OR SCREEN REQUIRED BY (I) MUST—
(A) NOT PERMIT A 125 MM SPHERE TO PASS THROUGH THE WINDOW OPENING OR SCREEN; AND
(B) RESIST AN OUTWARD HORIZONTAL ACTION OF 250N AGAINST THE—
(AA) WINDOW RESTRAINED BY A DEVICE; OR
(BB) SCREEN PROTECTING THE OPENING; AND
(C) HAVE A CHILD RESISTANT RELEASE MECHANISM IF THE SCREEN OR DEVICE IS ABLE TO BE REMOVED, UNLOCKED OR OVERRIDDEN.

(C) WHERE A DEVICE OR SCREEN PROVIDED IN ACCORDANCE WITH (B)(I) IS ABLE TO BE REMOVED, UNLOCKED OR OVERRIDDEN, A BARRIER WITH A HEIGHT NOT LESS THAN 865 MM ABOVE THE FLOOR IS REQUIRED TO THE OPENABLE WINDOW IN ADDITION TO WINDOW PROTECTION.

(D) A BARRIER COVERED BY (C) MUST NOT—
(I) PERMIT A 125 MM SPHERE TO PASS THROUGH IT; AND
(II) HAVE ANY HORIZONTAL OR NEAR HORIZONTAL ELEMENTS BETWEEN 150 MM AND 760 MM ABOVE THE FLOOR THAT FACILITATE CLIMBING. (SEE FIGURE 3.9.2.5).

PROTECTION OF OPENABLE WINDOWS - ROOMS OTHER THAN BEDROOMS

WINDOWS MUST BE COMPLIANT WITH:
NCC VOL. 2 PART 3.9.2.7
"PROTECTION OF OPENABLE WINDOWS - ROOMS OTHER THAN BEDROOMS"

(A) A WINDOW OPENING IN A ROOM OTHER THAN A BEDROOM MUST BE PROVIDED WITH PROTECTION WHERE THE FLOOR BELOW THE WINDOW IS 4 M OR MORE ABOVE THE SURFACE BENEATH.

(B) THE OPENABLE PART OF THE WINDOW COVERED BY (A) MUST BE PROTECTED WITH A BARRIER WITH A HEIGHT OF NOT LESS THAN 865 MM ABOVE THE FLOOR.

(C) A BARRIER REQUIRED BY (B) MUST NOT—

(I) PERMIT A 125 MM SPHERE TO PASS THROUGH IT; AND
(II) HAVE ANY HORIZONTAL OR NEAR HORIZONTAL ELEMENTS BETWEEN 150 MM AND 760 MM ABOVE THE FLOOR THAT FACILITATE CLIMBING. (SEE FIGURE 3.9.2.6)

SCREENING REQUIREMENTS:

BUILDINGS LESS THAN 2M FROM THE NEIGHBOURING HOUSE AT GROUND LEVEL OR 9M FOR STOREYS ABOVE GROUND LEVEL, SCREENING IS REQUIRED FOR HABITABLE ROOM WINDOWS, DECKS, BALCONIES, TERRACES OR ROOF DECKS WHERE THE SIGHT LINE IS WITHIN 45 DEGREES AS SHOWN IN DIAGRAM. WINDOWS WITH A SILL HEIGHT LESS THAN 1.5M ABOVE FLOOR LEVEL MUST COMPLY WITH SCREENING REQUIRMENTS. WHERE AT THE GROUND STOREY, ANY BOUNDARY FENCING TO A HEIGHT OF 1.5M ABOVE GROUND-STOREY FLOOR LEVEL ACTS AS SCREENING. ALL DECKS, BALCONYS, TERRACES, OR ROOF DECKS ARE TO HAVE FIXED SCREENING UP TO 1.5M ABOVE FLOOR LEVEL.

COMPLIANT SCREENING INCLUDES:
- SOLID TRANSLUCENT SCREENS, PERFORATED OR SLATTED PANELS OR FIXED LOUVRES
- SCREENS MUST HAVE A MAXIMUM OF 25% OPENINGS, WITH A MAXIMUM OPENING DIMENSION OF 50MM
- OFFSET A MINIMUM OF 0.3M FROM THE FACE OF THE WALL AROUND ANY WINDOW.
- FIXED TRANSLUCENT GLAZING UP TO 1.5M ABOVE FLOOR LEVEL

SANITARY COMPARTMENT NOTE

PROVIDE LIFT OFF HINGE DOOR WHERE 1200MM BETWEEN PAN AND SWING DOOR CANNOT BE ACHIEVED.

DOOR & WINDOW NOTES

ALL DOORS AND WINDOWS ARE:

-ALL CLEAR GLASS UNLESS STATED OTHERWISE ON THE PLANS OR NOTED IN THE ENERGY EFFICIENCY REPORT

-ALUMINIUM FRAME DOORS AND WINDOWS TO BE POWDER COATED TO OWNER'S SELECTION

-TIMBER FRAMED DOORS OR WINDOWS TO BE STAINED OR PAINTED TO OWNER'S SELECTION

-ALL WINDOWS AND DOORS ARE NOMINAL ONLY AND ALL SIZES AND TOLERANCES ARE TO BE CONFIRMED BY THE SELECTED WINDOW AND DOOR MANUFACTURE.

-ALL WINDOWS AND DOORS ARE TO BE SITE MEASURED AND ANY CONFLICTS BETWEEN THE PLAN/ELEVATIONS AND THE SCHEDULE SPECIAL REQUIREMENTS ARE TO BE CONFIRMED BETWEEN THE CONSTRUCTION MANAGER AND THE CLIENT PRIOR TO ORDERING.

-ALL COMMERCIAL DOORS TO COMPLY WITH BCA REQUIREMENTS AND DISABILITY (ACCESS TO PREMISES- BUILDINGS) STANDARDS CODE

WINDOW LEGEND

| | |
|--------|--------------------------|
| AW | AWNING |
| BI | BI-FOLD |
| CM | CASEMENT |
| DH | DOUBLE HUNG |
| FX | FIXED |
| FX CNR | FIXED CORNER (BUTT JOIN) |
| LV | LOUVRE |
| SL | SLIDING |

DOOR LEGEND

| | |
|-----|---------------|
| BI | BI-FOLD |
| CV | CAVITY SLIDER |
| FD | FRENCH |
| FS | FACE SLIDER |
| JD | JOINERY |
| PL | PANEL LIFT |
| PV | PIVOT |
| RD | ROLLER |
| RSD | ROBE SLIDER |
| SGD | SLIDING GLASS |

GLAZING OPTIONS

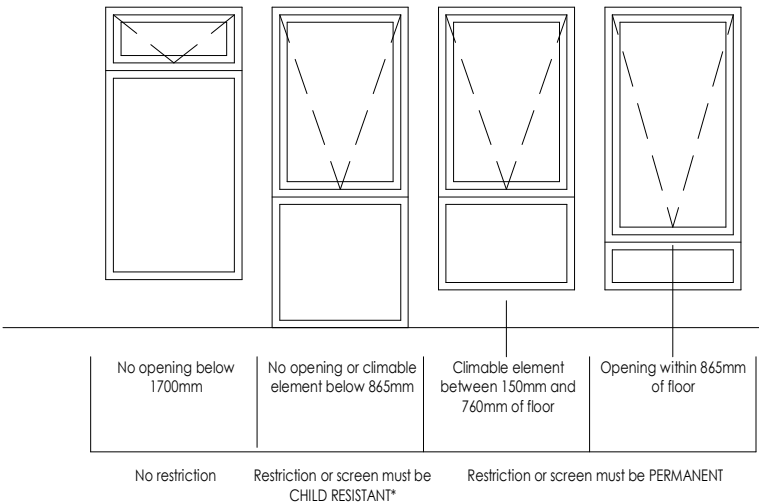
CLEAR
TRANSLUCENT
OBSCURE
FROSTED
PATTERNED
SATIN
TINTED
LOW-E

REFER TO ENERGY EFFICIENCY REPORT FOR ANY GLAZING REQUIREMENTS TO WINDOWS OR DOORS TO COMPLY WITH ENERGY EFFICIENCY REQUIREMENTS

| | | | | | | | | |
|--|--|-----|---------------------------------------|------------|----|----------------|---|--|
| | | REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION 'NEW RESIDENCE' / - / / SHEET NUMBER & NAME 500.00 DOOR SCHEDULE | |
| | | A | CONCEPT DESIGN | 26.09.2021 | LX | | | |
| | | B | CONTRACT ISSUE | 04.01.2022 | LX | | | |
| | | C | BA COORDINATION | 19.01.2022 | LX | | | |
| | | D | BA COORDINATION | 02.03.2022 | LX | | | |
| | | E | CONSTRUCTION ISSUE | 09.03.2022 | LX | | | |
| | | F | SITE ISSUE | 16.03.2022 | LX | | | |
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| | | H | SITE ISSUE | 02.04.2022 | LX | | | |
| | | I | RCP & ELECTRICAL & LIGHTING AMENDMENT | 25.06.2022 | LX | | | |

WINDOW SCHEDULE

| LEVEL | MARK | HEIGHT | WIDTH | HEAD | STYLE | CONFIGURATION | FRAME FINISH | GLASS FINISH | COMMENTS |
|-------|------|--------|-------|------|--------------------------|------------------------------------|------------------------|--------------|----------|
| FFL 1 | 1.1 | 1800 | 910 | 2400 | AWNING WINDOW | A - 1800x0910 | Powdercoated Aluminium | 'Clear' | |
| FFL 1 | 1.2 | 1800 | 900 | 2400 | FIXED CORNER WINDOW | 1800H - 1800 W - Return - 900 | Powdercoated Aluminium | 'Clear' | |
| FFL 1 | 1.3 | 2035 | 2410 | 2400 | SLIDING WINDOW - 3 PANEL | SFS/FFF - 2000x2400 (LOW LITE 665) | Powdercoated Aluminium | 'Clear' | |
| FFL 1 | 1.5 | 2035 | 910 | 2400 | SLIDING WINDOW - 2 PANEL | SF/F - 2000x0900 (LOW LITE 665) | Powdercoated Aluminium | 'Clear' | |
| FFL 1 | 1.6 | 600 | 1210 | 2400 | SLIDING WINDOW - 2 PANEL | SF - 0600x1200 | Powdercoated Aluminium | 'Obs' | |
| FFL 1 | 1.7 | 1500 | 1810 | 2400 | SLIDING WINDOW - 2 PANEL | SF - 1500x1800 | Powdercoated Aluminium | 'Clear' | |
| FFL 1 | 1.8 | 600 | 2650 | 2100 | SLIDING WINDOW - 3 PANEL | SFS - 0600x2700 | Powdercoated Aluminium | 'Clear' | |
| FFL 1 | 1.9 | 1500 | 1810 | 2400 | SLIDING WINDOW - 2 PANEL | SF - 1500x1800 | Powdercoated Aluminium | 'Clear' | |
| FFL 1 | 1.10 | 1500 | 1810 | 2400 | SLIDING WINDOW - 2 PANEL | SF - 1500x1800 | Powdercoated Aluminium | 'Clear' | |
| FFL 1 | 1.11 | 1200 | 610 | 2400 | SLIDING WINDOW - 2 PANEL | SF - 1200x0600 | Powdercoated Aluminium | 'Obs' | |
| FFL 1 | 1.12 | 1500 | 1810 | 2400 | SLIDING WINDOW - 2 PANEL | SF - 1500x1800 | Powdercoated Aluminium | 'Clear' | |

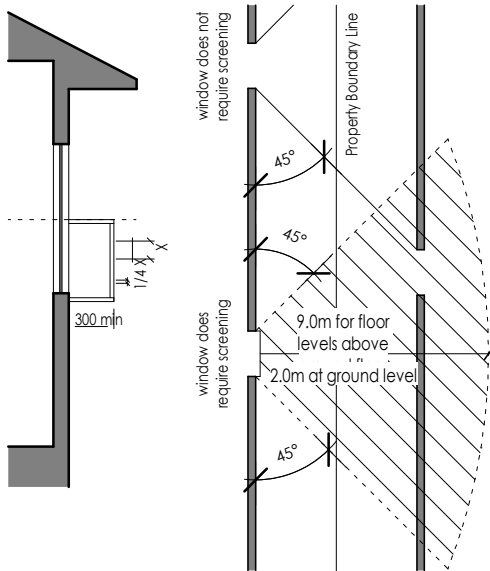


* Note: Only applicable in a bedroom or Class 9b Child Care Centre

CHILD RESISTANT means that a key, Allen key, screwdriver, spanner or the coordinated use of two hands is required to open the winow beyond 125mm.

PERMANENT means that a restrictor or screen is securely fixed in position (e.g. a screen pop riveted to the window frame) so it cannot be unlocked, overridden, or is very difficult to remove without, for example, as drill.

(diagram adapted from the Australian Window Association Key Message on Fall Prevention and the Protection of Openable Windows, released April 2016)



Screening Requirements

DOOR & WINDOW REQUIREMENTS

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(B) A SCREEN WITH SECURE FITTINGS.
- (II) A DEVICE OR SCREEN REQUIRED BY (I) MUST—
(A) NOT PERMIT A 125 MM SPHERE TO PASS THROUGH THE WINDOW OPENING OR SCREEN; AND
(B) RESIST AN OUTWARD HORIZONTAL ACTION OF 250N AGAINST THE—
(AA) WINDOW RESTRAINED BY A DEVICE; OR
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SANITARY COMPARTMENT NOTE

PROVIDE LIFT OFF HINGE DOOR WHERE 1200MM BETWEEN PAN AND SWING DOOR CANNOT BE ACHIEVED.

DOOR & WINDOW NOTES

ALL DOORS AND WINDOWS ARE:

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-ALL COMMERCIAL DOORS TO COMPLY WITH BCA REQUIREMENTS AND DISABILITY (ACCESS TO PREMISES- BUILDINGS) STANDARDS CODE

WINDOW LEGEND

| | |
|--------|--------------------------|
| AW | AWNING |
| BI | BI-FOLD |
| CM | CASEMENT |
| DH | DOUBLE HUNG |
| FX | FIXED |
| FX CNR | FIXED CORNER (BUTT JOIN) |
| LV | LOUVRE |
| SL | SLIDING |

DOOR LEGEND

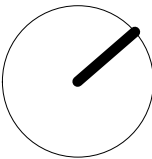
| | |
|-----|---------------|
| BI | BI-FOLD |
| CV | CAVITY SLIDER |
| FD | FRENCH |
| FS | FACE SLIDER |
| JD | JOINERY |
| PL | PANEL LIFT |
| PV | PIVOT |
| RD | ROLLER |
| RSD | ROBE SLIDER |
| SGD | SLIDING GLASS |

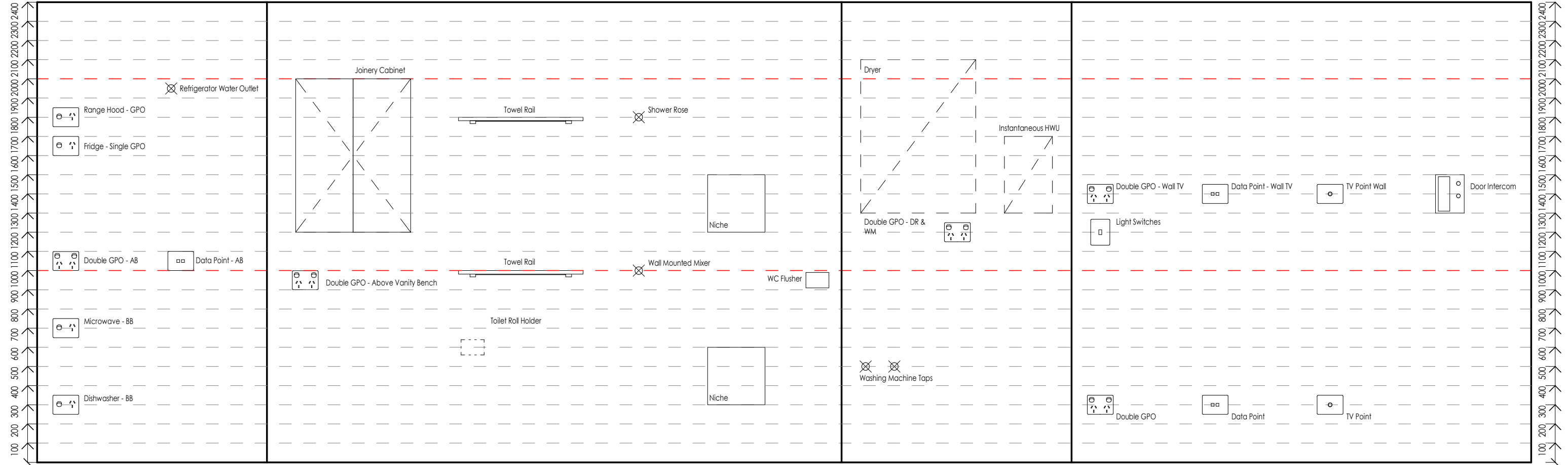
GLAZING OPTIONS

- CLEAR
- TRANSLUCENT
- OBSCURE
- FROSTED
- PATTERNED
- SATIN
- TINTED
- LOW-E

REFER TO ENERGY EFFICIENCY REPORT FOR ANY GLAZING REQUIREMENTS TO WINDOWS OR DOORS TO COMPLY WITH ENERGY EFFICIENCY REQUIREMENTS

| REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|---------------------------------------|------------|----|-------------------------|---------------------|
| A | CONCEPT DESIGN B | 26.09.2021 | LX | LOT NO: 168 | 'NEW RESIDENCE' |
| B | CONTRACT ISSUE | 04.01.2022 | LX | AREA: 500m ² | / - / |
| C | BA COORDINATION | 19.01.2022 | LX | PLAN NO: / | / |
| D | BA COORDINATION | 02.03.2022 | LX | WARD: ? | |
| E | CONSTRUCTION ISSUE | 09.03.2022 | LX | SUBURB / | |
| F | SITE ISSUE | 16.03.2022 | LX | AUTHORITY: B.C.C | |
| G | SITE ISSUE | 24.03.2022 | LX | | |
| H | SITE ISSUE | 02.04.2022 | LX | | |
| I | RCP & ELECTRICAL & LIGHTING AMENDMENT | 25.06.2022 | LX | | |





Kitchen

Ensuite & Bathroom

Laundry

Living / Dining / Bedroom / Entry

FINISH CEILING 2740

FINISH CEILING 2590

FINISH CEILING 2440

T-TOP

C-CENTRE

B-BOTTOM

ALL GPO POSITION TO FOLLOW THE ELECTRICITY GUIDELINE UNLESS SPECIFIED WITH DIFFERENT HEIGHT GPO ICON

2000- RANGEHOOD GPO

1800- RERIGATOR GPO

1300- LIGHT SWITCH POISTION

1100- WET AREA GPO

1000- KITCHEN BENCHTOP GPO

800- ISLAND BENCH GPO

300- GPO,TV,DATA, D/W, W/M & PHONE POINTS

FLOOR FINISH 000

Fan Coil Unit

ATTENTION TRUSS MANUFACTURER
LEAVE SPACE FOR FAN COIL UNIT
L=3000 W=2000 H=650
WEIGHT = 85KG APPROX.
AC DUCT SHAFT SIZING & POSITION TO BE CONFIRMED WITH SUPPLIER ON SITE PRIOR TO CONSTRUCTION

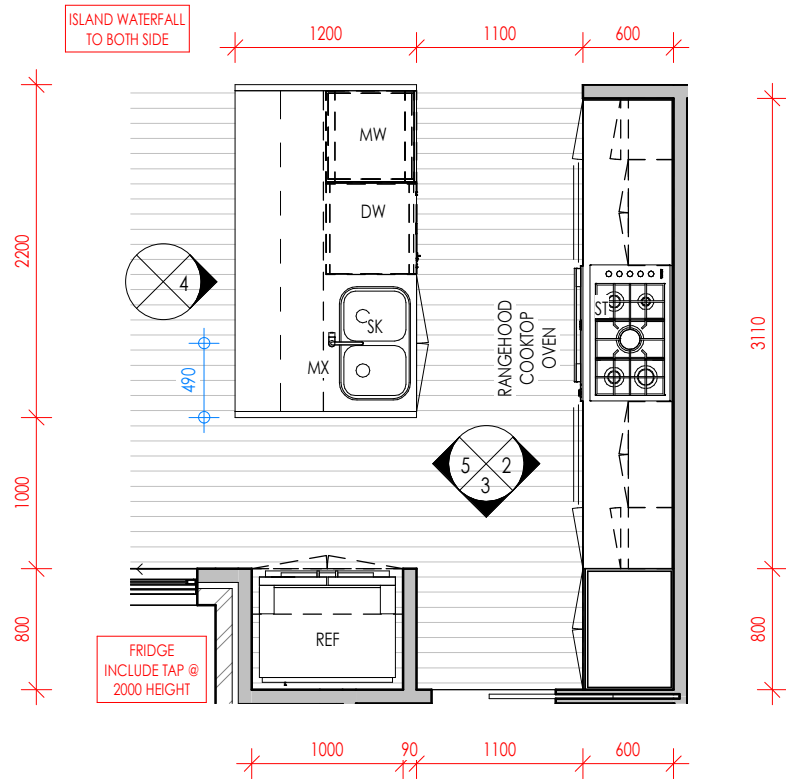
ELECTRICAL HEIGHT GUID

SITE ISSUE

| REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|---------------------------------------|------------|----|-------------------------|---------------------|
| A | CONCEPT DESIGN B | 26.09.2021 | LX | LOT NO: 168 | 'NEW RESIDENCE' |
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| D | BA COORDINATION | 02.03.2022 | LX | WARD: ? | |
| E | CONSTRUCTION ISSUE | 09.03.2022 | LX | SUBURB / | |
| F | SITE ISSUE | 16.03.2022 | LX | AUTHORITY: B.C.C | |
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| I | RCP & ELECTRICAL & LIGHTING AMENDMENT | 25.06.2022 | LX | | |

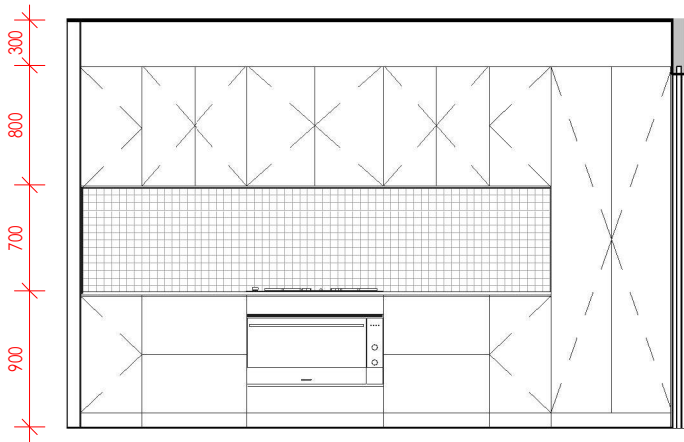
SHEET NUMBER & NAME

800.00 MOUNTING HEIGHTS



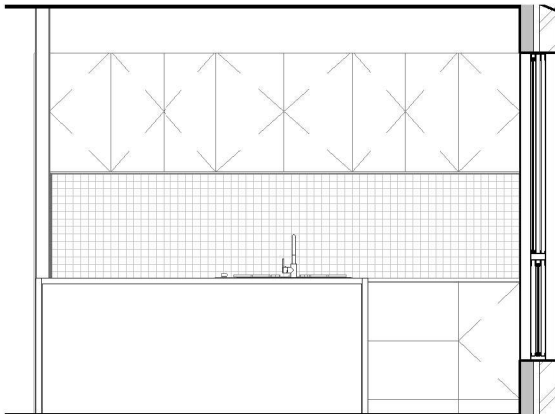
KITCHEN DETAIL PLAN

1 : 50



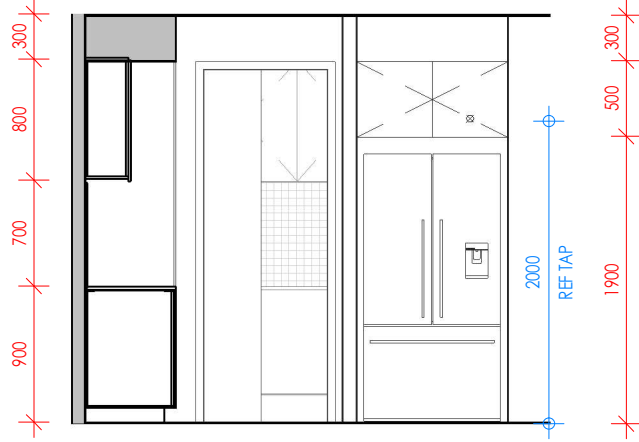
KITCHEN ELEVATION 2

1 : 50



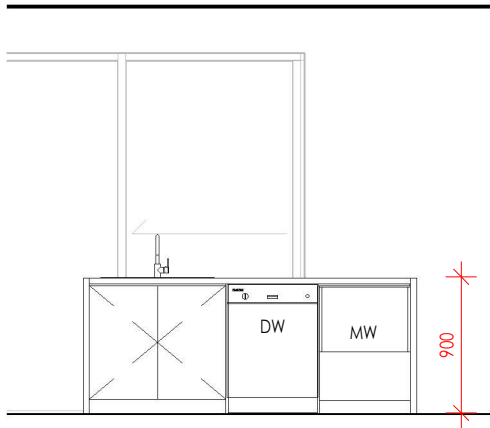
KITCHEN ELEVATION 4

1 : 50



KITCHEN ELEVATION 3

1 : 50



KITCHEN ELEVATION 5

1 : 50

WALL FINISH

| | |
|-----|----------------------------|
| PB1 | PLASTERBOARD FINISH TYPE 1 |
| PB2 | PLASTERBOARD FINISH TYPE 2 |
| FC | FEATURE FC |
| TV | TIMBER VENEER |
| SB | SPLASHBACK |
| SK1 | TILE SKIRTING |
| SK2 | TIMBER SKIRTING |
| SK3 | ALUMINIUM SKIRTING |
| TL1 | TILE TYPE 1 |
| TL2 | TILE TYPE 2 |

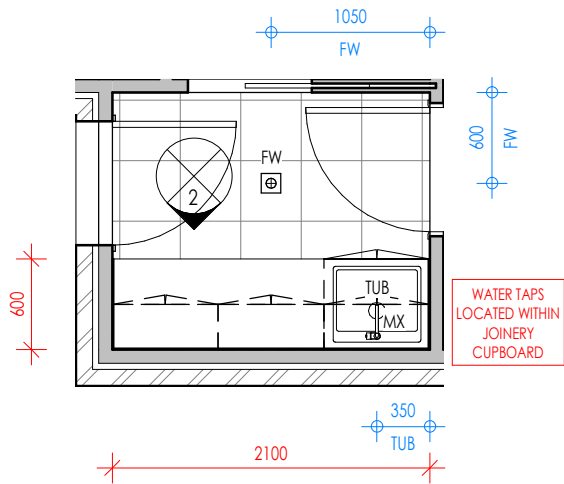
KITCHEN LEGEND

| | |
|-----|--------------------|
| BC | BREAD CUPBOARD |
| BT | BENCH TOP |
| DW | DISH WASHER |
| CT | COOKTOP |
| MW | MICROWAVE |
| OHC | OVERHEAD CUPBOARDS |
| OV | OVEN |
| PAN | PANTRY |
| REF | REFRIGERATOR |
| RH | RANGEHOOD |
| SHV | SHELVES |
| SK | KITCHEN SINK |
| ST | STOVE TOP |
| WF | WINE REFRIGERATOR |
| WIP | WALK IN PANTRY |

SITE ISSUE

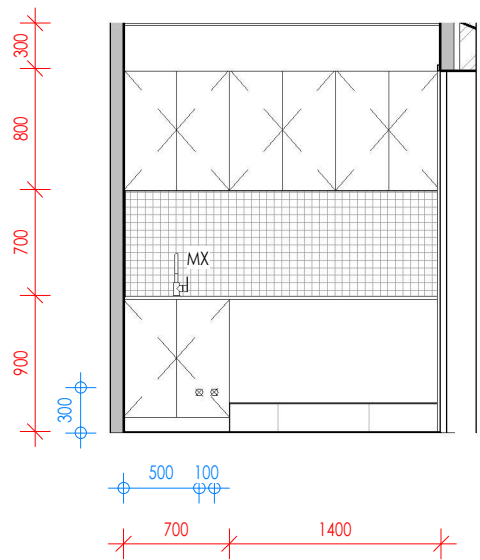
| REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|---------------------------------------|------------|----|-------------------------|---------------------|
| A | CONCEPT DESIGN B | 26.09.2021 | LX | LOT NO: 168 | 'NEW RESIDENCE' |
| B | CONTRACT ISSUE | 04.01.2022 | LX | AREA: 500m ² | / - / |
| C | BA COORDINATION | 19.01.2022 | LX | PLAN NO: / | / |
| D | BA COORDINATION | 02.03.2022 | LX | WARD: ? | |
| E | CONSTRUCTION ISSUE | 09.03.2022 | LX | SUBURB / | |
| F | SITE ISSUE | 16.03.2022 | LX | AUTHORITY: B.C.C | |
| G | SITE ISSUE | 24.03.2022 | LX | | |
| H | SITE ISSUE | 02.04.2022 | LX | | |
| I | RCP & ELECTRICAL & LIGHTING AMENDMENT | 25.06.2022 | LX | | |

SHEET NUMBER & NAME
800.10 KITCHEN DETAIL



LAUNDRY DETAIL PLAN

1 : 50



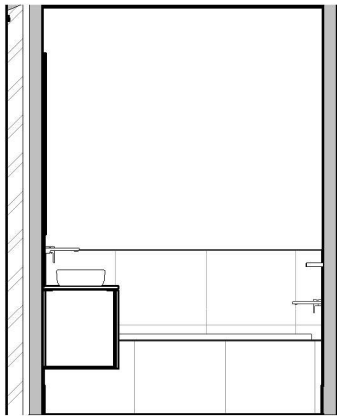
LAUNDRY ELEVATION 2

1 : 50



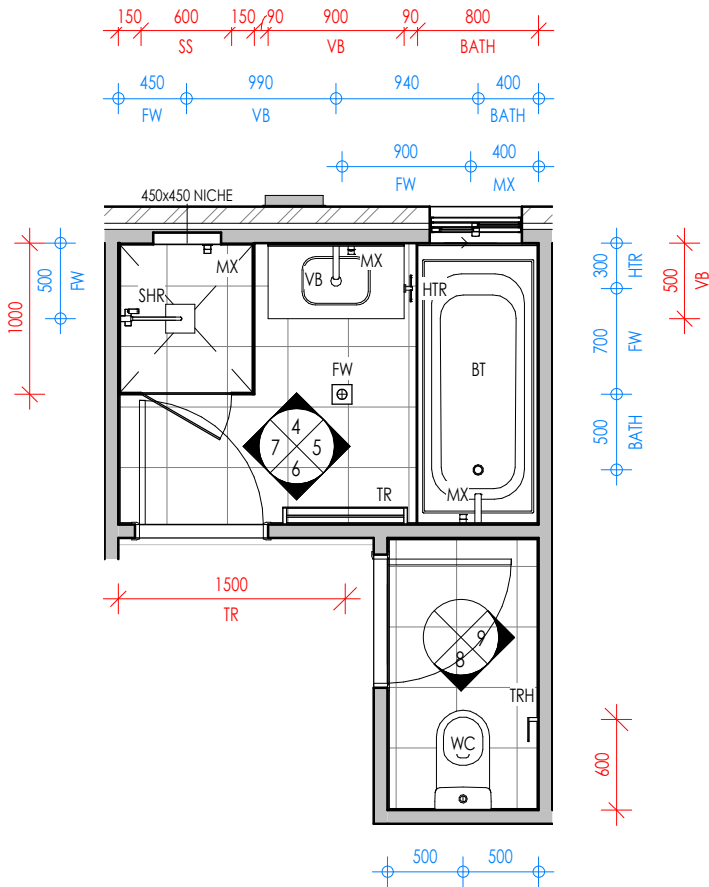
BATH ELEVATION 4

1 : 50



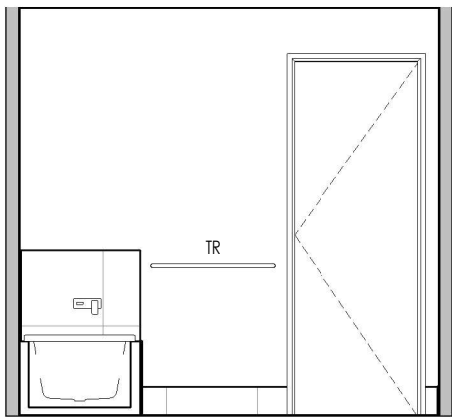
BATH ELEVATION 5

1 : 50



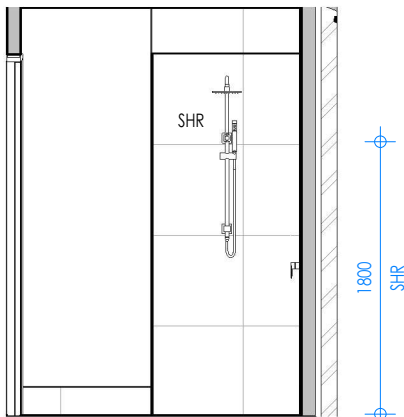
BATH & WC DETAIL PLAN

1 : 50



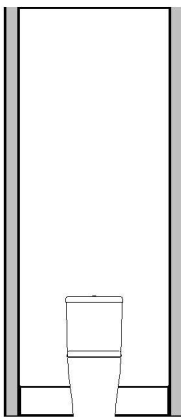
BATH ELEVATION 6

1 : 50



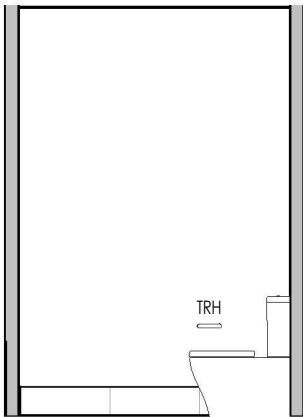
BATH ELEVATION 7

1 : 50



WC ELEVATION 8

1 : 50



WC ELEVATION 9

1 : 50

WALL FINISH

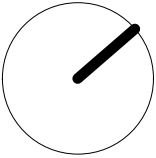
| | |
|-----|----------------------------|
| PB1 | PLASTERBOARD FINISH TYPE 1 |
| PB2 | PLASTERBOARD FINISH TYPE 2 |
| FC | FEATURE FC |
| TV | TIMBER VENEER |
| SB | SPLASHBACK |
| SK1 | TILE SKIRTING |
| SK2 | TIMBER SKIRTING |
| SK3 | ALUMINIUM SKIRTING |
| TL1 | TILE TYPE 1 |
| TL2 | TILE TYPE 2 |

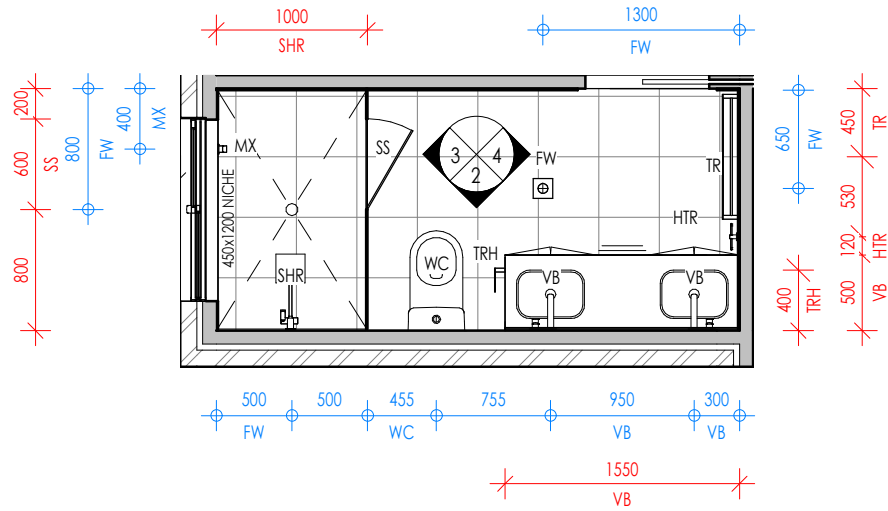
LAUNDRY LEGEND

| | |
|-----|----------------------|
| BT | BENCH TOP |
| DYR | CLOTHES DRYER |
| FW | FLOOR WASTE |
| CHR | CLOTHES HANGING RAIL |
| MX | MIXER |
| OHC | OVERHEAD CUPBOARDS |
| SB | SPLASHBACK |
| SHV | SHELVES |
| TUB | LAUNDRY TUB |
| WIL | WALK IN LINEN |
| WM | WASHING MACHINE |

SITE ISSUE

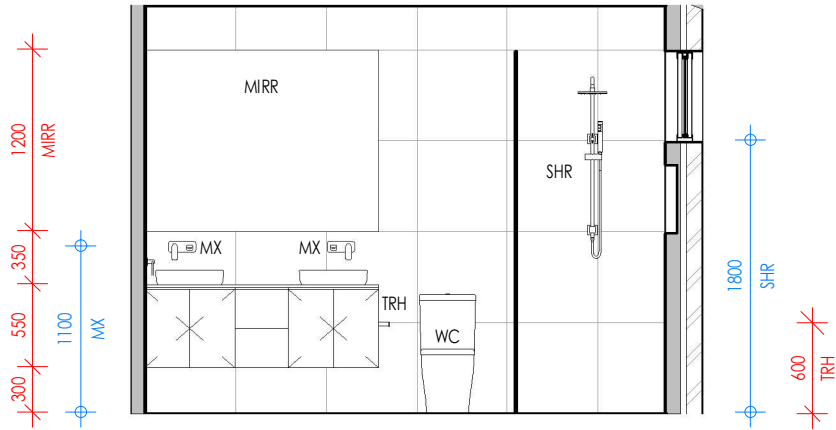
| REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|---------------------------------------|------------|----|-------------------------|---------------------|
| A | CONCEPT DESIGN B | 26.09.2021 | LX | LOT NO: 168 | 'NEW RESIDENCE' |
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| D | BA COORDINATION | 02.03.2022 | LX | WARD: ? | |
| E | CONSTRUCTION ISSUE | 09.03.2022 | LX | SUBURB / | |
| F | SITE ISSUE | 16.03.2022 | LX | AUTHORITY: B.C.C | |
| G | SITE ISSUE | 24.03.2022 | LX | | |
| H | SITE ISSUE | 02.04.2022 | LX | | |
| I | RCP & ELECTRICAL & LIGHTING AMENDMENT | 25.06.2022 | LX | | |





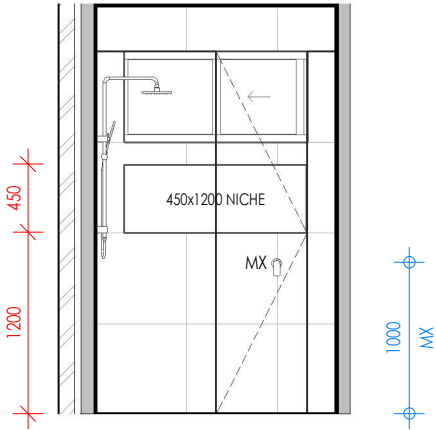
ENSUITE DETAIL PLAN

1 : 50



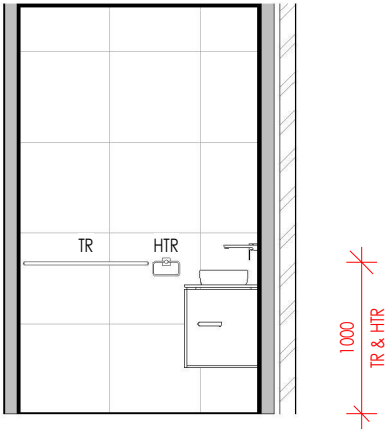
ENSUITE ELEVATION 2

1 : 50



ENSUITE ELEVATION 3

1 : 50



ENSUITE ELEVATION 4

1 : 50

WALL FINISH

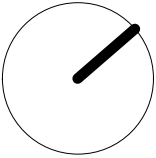
| | |
|-----|----------------------------|
| PB1 | PLASTERBOARD FINISH TYPE 1 |
| PB2 | PLASTERBOARD FINISH TYPE 2 |
| FC | FEATURE FC |
| TV | TIMBER VENEER |
| SB | SPLASHBACK |
| SK1 | TILE SKIRTING |
| SK2 | TIMBER SKIRTING |
| SK3 | ALUMINIUM SKIRTING |
| TL1 | TILE TYPE 1 |
| TL2 | TILE TYPE 2 |

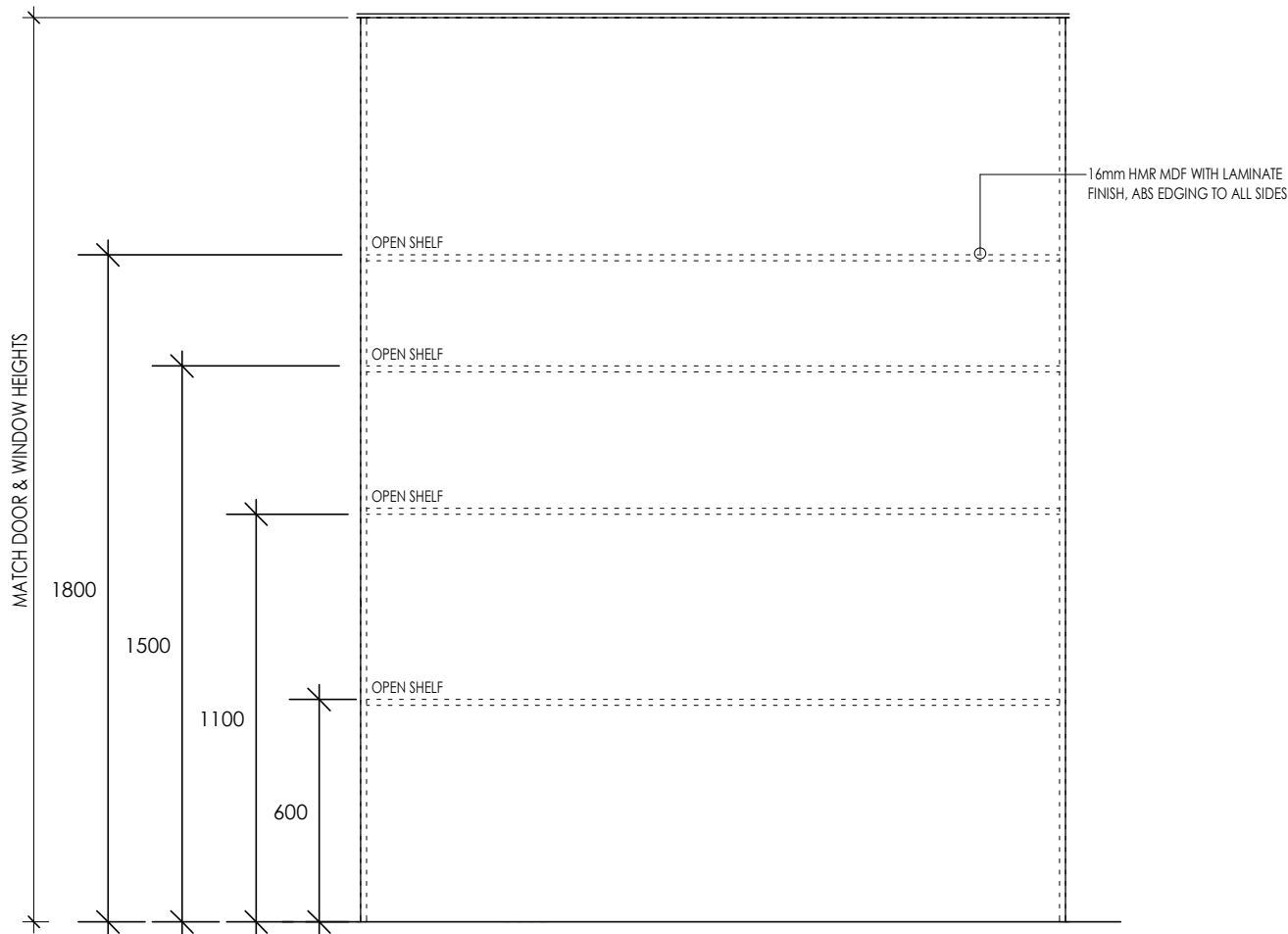
WET AREA LEGEND

| | |
|------|-----------------------|
| B | BIDET |
| BATH | BATHTUB |
| BT | BENCH TOP |
| FW | FLOOR WASTE |
| GD | GRATE DRAIN |
| HB | HAND BASIN |
| HTR | HAND TOWEL RAIL |
| MIRR | MIRROR |
| MX | MIXER |
| OHC | OVERHEAD CUPBOARDS |
| RWH | RAINWATER SHOWER HEAD |
| SB | SPLASHBACK |
| SHR | SHOWER ROSE |
| SHV | SHELVES |
| SS | SHOWER SCREEN |
| TH | TOWEL HOOK |
| TR | TOWEL RAIL |
| TRH | TOILET ROLL HOLDER |
| VB | VANITY BASIN |
| WC | WATER CLOSET |

SITE ISSUE

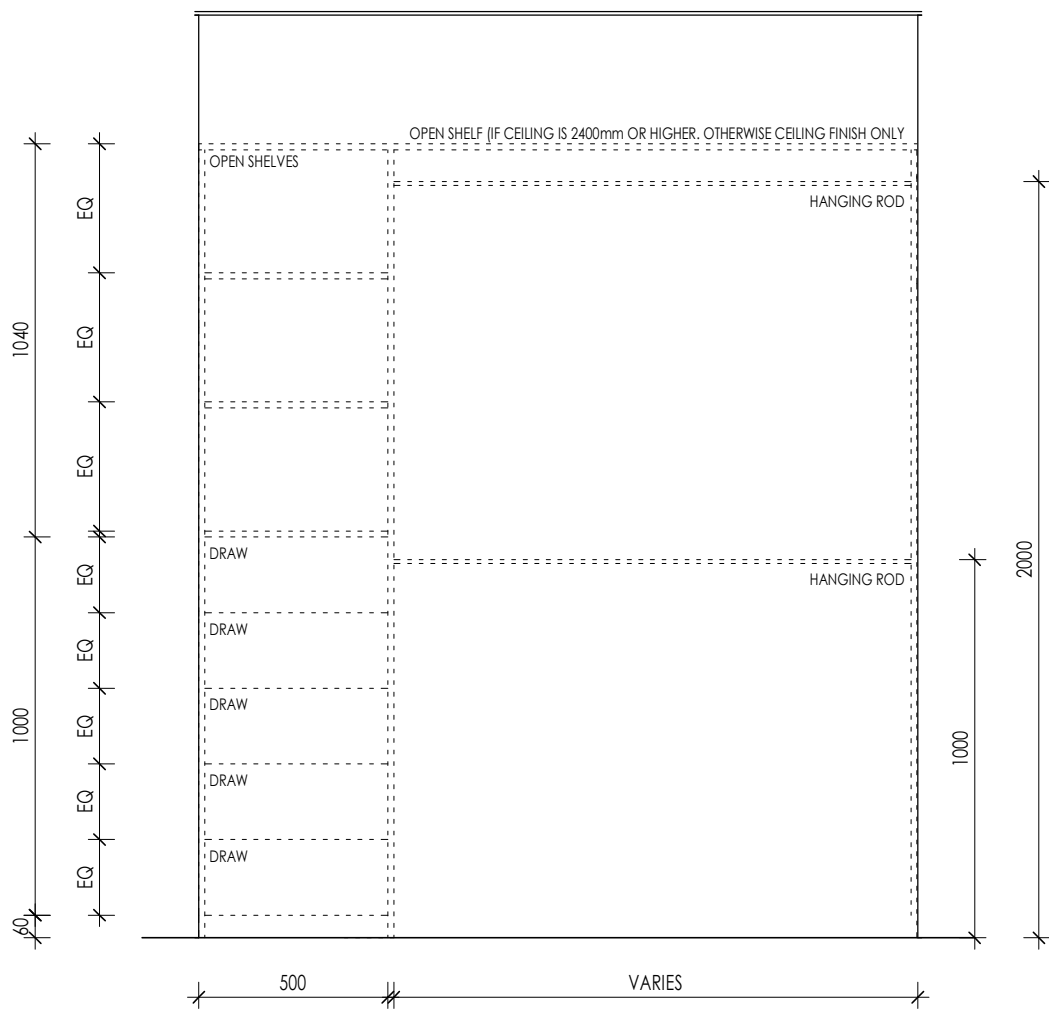
| REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|---------------------------------------|------------|----|-------------------------|---------------------|
| A | CONCEPT DESIGN B | 26.09.2021 | LX | LOT NO: 168 | 'NEW RESIDENCE' |
| B | CONTRACT ISSUE | 04.01.2022 | LX | AREA: 500m ² | / - / |
| C | BA COORDINATION | 19.01.2022 | LX | PLAN NO: / | / |
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| I | RCP & ELECTRICAL & LIGHTING AMENDMENT | 25.06.2022 | LX | | |





STANDARD LINEN - ELEVATION DETAIL

1 : 20



STANDARD ROBE - ELEVATION DETAIL

1 : 20

SITE ISSUE

| | | | | | | | |
|--|--|-----|---------------------------------------|------------|----|------------------|--|
| | | REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION 'NEW RESIDENCE' / - / / |
| | | A | CONCEPT DESIGN B | 26.09.2021 | LX | | |
| | | B | CONTRACT ISSUE | 04.01.2022 | LX | | |
| | | C | BA COORDINATION | 19.01.2022 | LX | | |
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| | | G | SITE ISSUE | 24.03.2022 | LX | | |
| | | H | SITE ISSUE | 02.04.2022 | LX | | |
| | | I | RCP & ELECTRICAL & LIGHTING AMENDMENT | 25.06.2022 | LX | AUTHORITY: B.C.C | SHEET NUMBER & NAME 800.60 ROBE/LINEN CUPBOARD DETAIL |

