

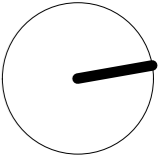
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NO FOR CONSTRUCTION



SITE ISSUE

REV	DESCRIPTION	DATE	BY	RP DESCRIPTION	PROJECT DESCRIPTION
E	JOINERY FOR PRICING	23.11.2022	AM	LOT NO: /	'PROPOSED EXTENSION'
F	DRAFTING AMENDMENT	30.01.2023	AM	AREA: /m²	
G	KITCHEN AMENDMENT	31.01.2023	AM	PLAN NO: /	
H	ELECTRICAL APPROVAL	06.02.2023	AM	WARD: ?	
I	SITE ISSUE	07.02.2023	AM	SUBURB /	
J	SITE ISSUE	14.02.2023	AM		SHEET NUMBER & NAME
K	SITE ISSUE	15.02.2023	AM		
L	CABINTRY EDIT	03.03.2023	AM		
M	DRAFTING AMENDMENT	21.06.2023	AM	AUTHORITY: B.C.C	000.00 COVER SHEET



GENERAL NOTES:

DO NOT SCALE PLANS, USE WRITTEN DIMENSIONS ONLY.
ALL WORKS SHALL COMPLY WITH, BUT NOT BE LIMITED TO THE BUILDING CODE OF AUSTRALIA & THE AUSTRALIAN STANDARDS:
AS 1288 - 2006 GLASS IN BUILDINGS - SELECTION AND INSTALLATION
AS 1562 - 1992 DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING
AS 1684 - 2010 NATIONAL TIMBER FRAMING CODE
AS 2049 - 2002 ROOF TILES
AS 2050 - 2002 INSTALLATION OF ROOF TILES
AS 2870 - 2011 RESIDENTIAL SLAB AND FOOTINGS - CONSTRUCTION
AS/NZS 2904 - 1995 DAMP-PROOF COURSES & FLASHINGS
AS 3600 - 2009 CONCRETE STRUCTURES
AS 3660 - 2012 BARRIERS FOR SUBTERRANEAN TERMITES AS 3700 - 2011 MASONRY IN BUILDINGS
AS 3740 - 2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
AS 3786 - 1993/2014 SMOKE ALARMS
AS 4055 - 2012 WIND LOADINGS FOR HOUSING
AS 4100 - 1998 STEEL STRUCTURES
AS 4654 - WATERPROOF MEMBRANES FOR EXTERNAL ABOVE GROUND USE
THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL & CIVIL ENGINEERING COMPUTIONS AND DRAWINGS. SOIL CLASSIFICATION - REFER TO STRUCTURAL ENGINEERS SOIL TEST.
ALL BUILDINGS SHALL BE PROTECTED AGAINST TERMITE ATTACK IN ACCORDANCE WITH AS 3660.1. ALL STRUCTURAL ELEMENTS AS DEFINED BY THE BUILDING CODE OF AUSTRALIA TO BE OF TERMITE RESISTING CONSTRUCTION. A DURABLE NOTICE SHALL BE PLACED IN THE METER BOX INDICATING TYPE OF BARRIER & REQUIRED PERIODICAL INSPECTIONS.
SAFETY GLAZING TO BE USED IN THE FOLLOWINGS CASES –
i) ALL ROOMS - WITHIN 500mm VERTICAL OF THE FLOOR
ii) BATHROOMS - WITHIN 1500mm VERTICAL OF THE BATH BASE
iii) FULLY GLAZED DOORS iv) SHOWER SCREENS
iv) WITHIN 300mm OF A DOOR & 1200mm ABOVE FLOOR LEVEL
v) WINDOW SIZES ARE NOMINAL ONLY, ACTUAL SIZES WILL VARY WITH MANUFACTURER, FLASHING ALL ROUND.

STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE AS DETERMINED BY THE RELEVANT AUTHORITY.
TILED DECKS OVER HABITABLE AREAS ARE TO BE, IN THE FOLLOWING ORDER WHEN OVER FLOOR JOISTS - 19mm COMPRESSED FIBRE CEMENT SHEET, WITH ONE LAYER OF PARCHEM EMERPROOF 750 WITH A SECOND LAYER OF SAND SEED WITH A DFT OF 1300 MICRON, INSTALLED TO MANUF. SPECIFICATIONS, & FLOOR TILES OVER, ALL CORNERS TO HAVE 20mm MASTIC SEALANT UNDER THE PARCHEM EMERPROOF 750.
ALL WET AREAS TO COMPLY WITH NCC 3.8.1.2 AND AS 3740. SPLASH BACKS SHALL BE IMPERVIOUS FOR 150mm ABOVE SINKS, TUB & VANITY BASINS WITHIN 75mm OF THE WALL
STAIR REQUIREMENTS: MIN. TREAD 240mm, MIN. RISER 115mm, MAX. RISER 190mm, SPACE BETWEEN OPEN TREADS MAX. 125mm. TREADS TO BE NON SLIP SURFACE
BALUSTRADES: MIN. 1000mm ABOVE LANDINGS WITH MAX. OPENING OF 125mm AND IN ACCORDANCE WITH NCC 3.9.2. FOR STAINLESS STEEL BALUSTRADE, REFER TO Table 3.9.2.1 (WIRE BALUSTRADE CONSTRUCTION - REQUIRED WIRE TENSION & MAXIMUM PERMISSIBLE DEFLECTION) OF THE NCC.
EXHAUST FANS FROM SANITARY COMPARTMENTS TO BE DUCTED EXTERNALLY
Additional Notes:
• ALL WINDOWS TO COMPLY WITH BCA CLAUSE 3.9.2.5.
• ALL WINDOWS TO HAVE CLEAR GLAZING UNLESS SPECIFIED.
• LAMINATED GLAZING TO WET AREA WINDOWS TO AS1288 - 1994.
• WC DOOR TO BE REMOVABLE AND FITTED WITH LIFT OFF HINGES WHERE REQUIRED AS PER BCA AMENDMENT 3 PART 3.8.3.3
• WATERPROOFING TO WET AREAS TO COMPLY WITH AS3740.
• WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE
• MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH B.C.A P.2.4.5
• ALL WINDOW HEAD HEIGHTS TO BE 2400mm HIGH UNLESS OTHERWISE NOTED
• GREY GLASS TO ALL WINDOWS AND DOORS U.O.N.
• DOUBLE STUDS TO ALL INTERNAL DOORS
□ TIMBER ROOF TRUSS AND WALL FRAMES TO MANUFACTURER'S SPECIFICATIONS

• EXPANSION JOINTS ARE TO BE PROVIDED IN ACCORDANCE WITH ENGINEER'S SPECIFICATIONS
• ALL GLAZING TO AUSTRALIAN STANDARD 1288-2006
• EAVES OVERHANG AND GABLE ARE MEASURED FROM INNER FACE OF FASCIA TO OUTSIDE FACE OF TIMBER FRAME
• ALL WINDOW HEAD HEIGHTS TO BE AT 2135mm HIGH UNLESS OTHERWISE NOTED

ADDITIONAL NOTES (MORE DEPTH AND SPECIALISED PROPOSED STRUCTURE REQUIREMENTS):

□ IT IS THE BUILDERS RESPONSIBILITY TO CONFIRM THE DEPTH OF THE SEWER, WATER AND STORMWATER INFRASTRUCTURE AND ENSURE FOUNDATION CONSTRUCTION ACHIEVED THE REQUIREMENTS OF THE QUEENSLAND DEVELOPMENT CODE MP 1.4 - BUILD OVER OR NEAR RELEVANT INFRASTRUCTURE.

□ WC DOORS TO COMPLY WITH THE BCA.PART 3.8.3; DOOR TO SWING OUT FROM THE EDGE OF THE PAN, DISTANCE BETWEEN THE PAN AND THE DOOR EDGE TO BE 1200mm OR LIFT-OFF HINGES TO BE INSTALLED.

□ MASONRY CONSTRUCTION TO COMPLY WITH NCC VOLUME TWO PART 3.3 (as applicable).

□ FINISHED FLOOR LEVEL TO BE IN COMPLIANCE WITH THE BCA VOL 2 PART 3.1.3

- 50mm ABOVE HARD PAVED SURFACES
- 100mm ABOVE WELL DRAINED SANDY SOILS
- 150mm IN ANY OTHER CASE.
□ NATURAL LIGHT AND VENTILATION TO BE PROVIDED IN ACCORDANCE WITH THE BCA VOL. 2 PART 3.8. CAVITY SLIDING DOORS ARE TO BE GLAZED PANELS OR A SKYLIGHT/S IS TO BE PROVIDED IN ACCORDANCE WITH THE BCA PART 3.8.4

□ ROOF CLADDING AND FLASHINGS TO BE INSTALLED IN ACCORDANCE WITH BCA PART 3.5.1 AND 3.5.2 (as applicable).

□ TERMITE MANAGEMENT SYSTEM TO BE FULLY INSTALLED TO COMPLY WITH BCA PART 3.1.4 AND AS 3660.1 INCLUDING ALL PENETRATIONS AND COLD JOINTS AS APPLICABLE.

□ PRIVACY SCREENING TO WINDOWS/BALCONIES MUST BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY PLANNING SCHEME.

□ IF THE COMBINED HEIGHT OF RETAINING WALLS AND FENCING EXCEEDS 2M ABOVE NATURAL GROUND LEVEL, FURTHER APPROVALS FROM THE LOCAL AUTHORITY MAY BE REQUIRED PRIOR TO THE ISSUE OF A FINAL CERTIFICATE

(i) RETAINING WALLS GREATER THAN 1M IN HEIGHT, WITHIN 1.5M OF ANOTHER BUILDING/STRUCTURE, OR TAKING SURCHARGE LOAD, MAY REQUIRE ENGINEER'S DETAILS AND FURTHER APPROVALS

□ GRADE SITE AWAY FROM THE BUILDING AT A MINIMUM SLOPE OF 1:20 FOR A MINIMUM DISTANCE OF 1000MM TO PERIMETER, SO THAT THE WATER DRAINS TO THE ROAD OR UNDERGROUND DRAINAGE, NOT ONTO NEIGHBOURING PROPERTIES
□ EXTERNAL WALL WITHIN 900mm OF THE BOUNDARY MUST BE FIRE RATED TO 60/60/60 IN ACCORDANCE WITH THE BCA VOL 2, PART 3.7.2, AND CONSTRUCTED OF MAINTENANCE FREE MATERIALS IN ACCORDANCE WITH THE QDC, PART A6.

□ A SEAL TO RESTRICT AIR INFILTRATION MUST BE FITTED TO EACH EDGE OF AN EXTERNAL DOOR, OPENABLE WINDOW AND OTHER SUCH OPENING WHEN SERVING A CONDITIONED SPACE AS PER BCA VOL 2 PART 3.12.3

□ THE SPACING BETWEEN DOWNPIPES MUST NOT BE MORE THAN 12M, AS PER THE BCA VOL. 2 PART 3.5.2.

□ DOWNPIPES MUST NOT SERVE MORE THAN 12M OF GUTTER LENGTH, AS PER THE BCA VOLUME 2 PART 3.5.2.5

□ SMOKE ALARMS MUST COMPLY WITH THE REQUIREMENTS OF BCA, PART 3.7 - FIRE SAFETY AND THE BUILDING REGULATION PART 3A

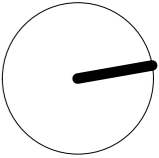
-PLEASE NOTE: SMOKE ALARMS ARE TO BE LOCATED A MINIMUM OF 300MM AWAY FROM LIGHT FITTINGS AND WALLS AND 400MM AWAY FROM CEILING FAN BLADES AND/OR AIR CONDITIONER VENTILATION OPENINGS.
-SMOKE ALARMS MUST BE 500MM AND 1500MM AWAY FROM THE HIGH POINT AND APEXES OF THE CEILING, IF THE ROOM HAS A SLOPING CEILING

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800.10	KITCHEN DETAIL PLAN	M	21.06.2023				

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SITE COVER		
Name	BUILDING AREA	%
PROPOSED EXTENSION	68 m²	19.20
EXITING SITE COVER	103 m²	29.10
GRAND TOTAL	171 m²	48.30%

60% MAX

BUILDING NOTES

WALL FRAMES:
EXTERNALS: 70mm TIMBER STUD OR 70mm METAL STUD
INTERNALS: 70mm TIMBER STUD **UNO** OR 70mm METAL STUD **UNO**
(TIMBER WALL FRAMES ARE T2 / H2 TREATED)

EXTERNAL WALLS TYPES:
FIRST FLOOR
CLADDING (DIRECT FIX)

ROOFING:
CUSTOM ORB SHEETING (ANTICON BONDED BLANKET)
FASCIA:
COLORBOND METAL FIXED FASCIA
GUTTER: 150MM HIGH FRONT SLOTTED QUAD WITH SPACER
DOWNPIPES: 90Ø PVC

INTERNAL LININGS:
WALLS
10MM PLASTERBOARD
10MM WR PLASTERBOARD TO ALL WET AREAS
WC
10MM PLASTERBOARD (SKIRTING TILE ONLY)
10MM WR PLASTERBOARD TO FULL HEIGHT TILES
LAUNDRY
10MM WR PLASTERBOARD
(BOTTOM SHEET ONLY) TUB / WASHING MACHINE
CEILINGS:
10MM PLASTERBOARD
(10mm WR PLASTERBOARD FOR EXTERNAL APPLICATION)
SOFFITS:
4.5MM FC

INSULATION:
CEILING R2.5 CEILING INSULATION BATTS
(EXCLUDING GARAGE & EAVES)
EXTERNAL WALLS WITH WALL WRAP AROUND PERIMETER
CLADDED EXTERNAL WALLS WITH R1.5 WALL BATTS

SITE NOTES

CONTOURS AND LEVELS SHOWN ARE PROVIDED BY A LICENSED SURVEYOR
TOPOGRAPHY SHOWN IS BASED ON AN ASSUMED DATUM POINT
ALL SURVEY PEGS ARE TO BE LOCATED PRIOR TO EARTHWORKS
SURFACE WATER TO BE DRAINED AWAY FROM DWELLING
(PROVIDE A 1:20 MIN. FALL)
UNLESS NOTED OTHERWISE, REMOVAL OF EXISTING TREES AND CONSTRUCTION OF RETAINING WALLS, WHERE REQUIRED, SHALL BE PROVIDED BY THE OWNER
MAXIMUM BATTERS SHALL OCCUR AS FOLLOWS:-
(I) CUT - 1:1
(II) FILL - 1:3
(III) VEHICULAR ACCESS - 1:5 (1:6 PREFERRED)
THE WORKING PAD R.L. NOTED ON THE SLAB SETOUT PLAN SHALL HAVE A TOLERANCE OF UP TO +/- 100MM

FIRE ANT:
PRIOR TO ANY REMOVAL OF SOIL ON THE SITE, BUILDER MUST CHECK FIRE ANT REGUALTION ZONE

STORMWATER:
- 2x100mm DIA HEAVY DUTY PVC UNDERGROUND STORMWATER PIPES **UNO** CONNECTED TO DOWNPIPES.
BUILDER/ROOF PLUMBER IS ENSURE THAT ALL GUTTERS/DOWNPICES COMPLY WITH NCC VOL. 1 PART 3.5.
PRIOR TO ANY EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES.
STORMWATER LAYOUT SHOWN IS INDICATIVE ONLY & WILL BE LAID AT THE PLUMBERS DISCRETION

SERVICES:
LOT ELECTRICAL SUPPLY TO BE OVERGROUND - ROOF

GAS MAINS CONNECTION AVAILABILITY:
YES/NO (CORRECT /OTHER SIDE OF ROAD)
2x LPG BOTTLES REQUIRED

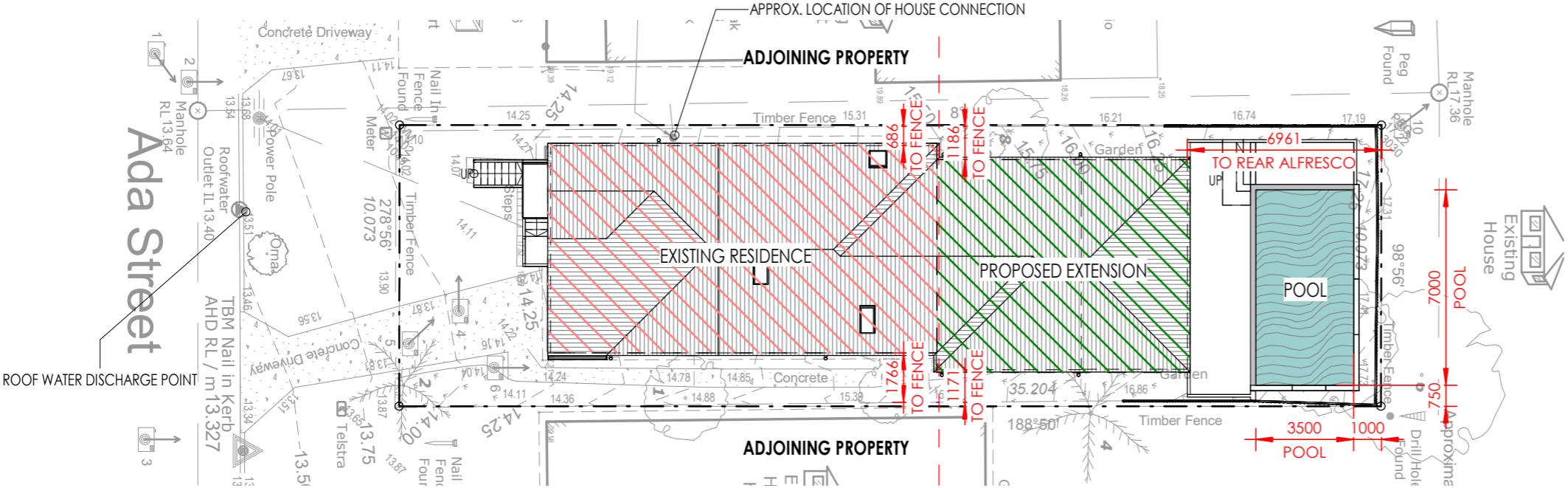
CLASSIFICATIONS:
SOIL CLASSIFICATION:
(REFER TO REPORT)

WIND CLASSIFICATION:
(REFER TO REPORT)

OVERLAYS:
BAL RATING:
N/A
(REFER TO REPORT IF APPLICABLE)

ACOUSTIC RATING:
N/A
(REFER TO REPORT IF APPLICABLE)

FLOOD REQUIRMENT:
N/A
(REFER TO REPORT)



SITE PLAN

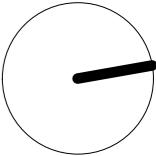
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IF MULTIPLE PAD AND SLAB HEIGHTS ARE USED REFER TO SHEET 110.20

PAD HEIGHT:
SLAB HEIGHT:

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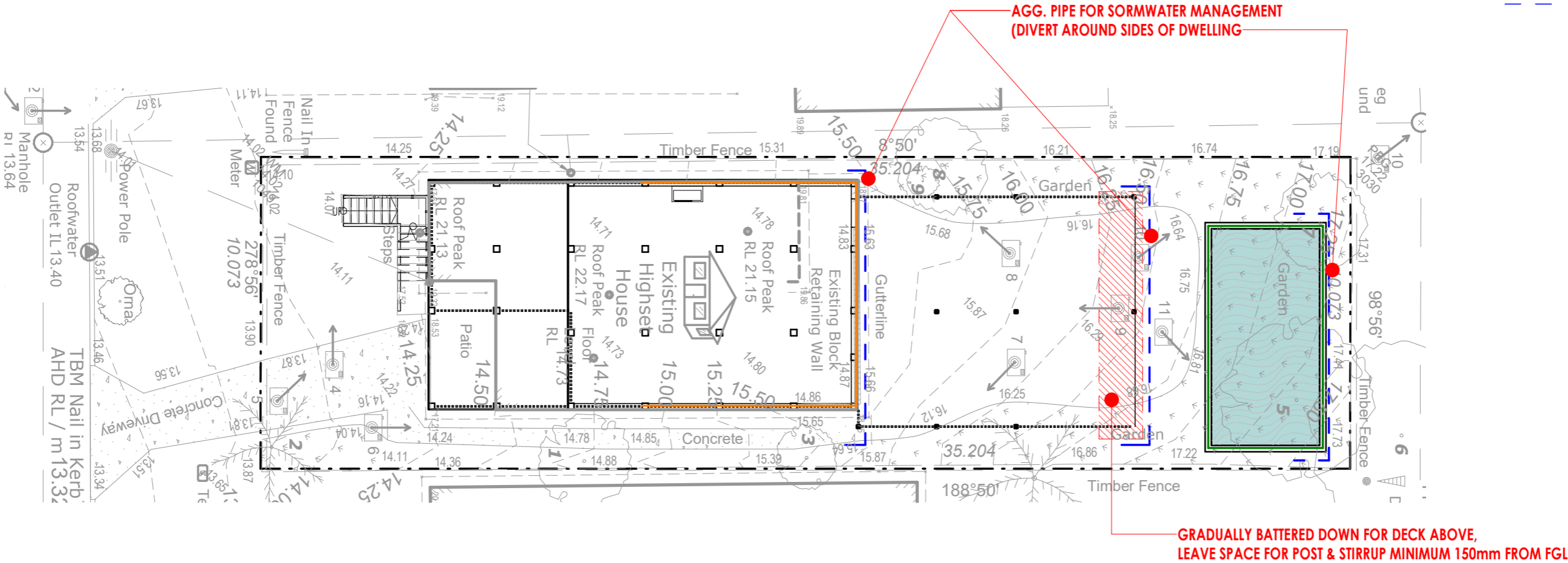
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CUT & FILL LEGEND

GRADE TO BE NO MORE THAN 1:2 BATER
PAD & MAIN HOUSE SLAB FL INDICATED ON PLAN

- 'GRADE DOWN'
- 'GRADE UP'
- TRANSITION IN LEVELS
- BLOCKWORK RETAINING
- SLEEPER RETAINING
- PLUNGIE POOL/FORMED CONCRETE
- AGG. DRAINAGE



EARTHWORKS PLAN

1 : 150

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SHEET NUMBER & NAME
100.10 EARTHWORKS PLAN

GENERAL ROOF NOTES

ROOF CLADDING AND FLASHINGS TO BE INSTALLED IN ACCORDANCE WITH BCA PART 3.5.1 AND 3.5.2 (AS APPLICABLE).

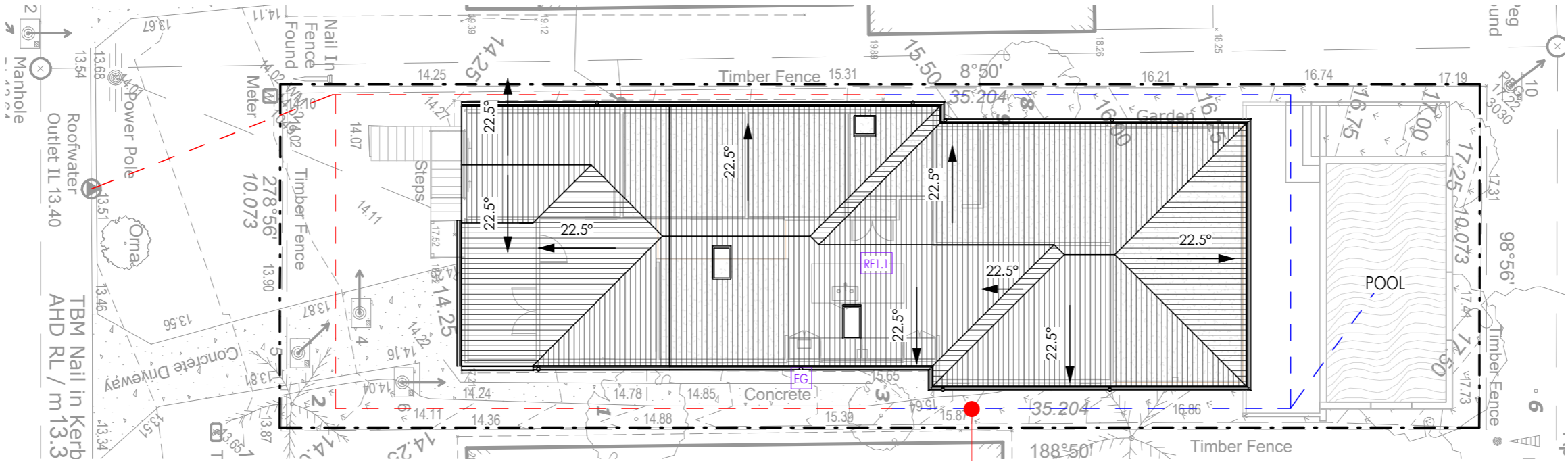
ALL PARAPET WALLS MUST HAVE FC BACKING AND BE FLASHED AS REQUIRED.

INSTALLATION OF PLUMBING ROOF VENT REQUIRED.

KEYNOTE LEGEND

EG	EAVES GUTTER
RF1.1	METAL ROOF SHEETING

UNSURE ROOF PITCH ANGLE, ROOF PITCH ON PLAN ARE REFERENCE ONLY
CARPENTER TO BE CONFIRMED ON SITE



ROOF PLAN

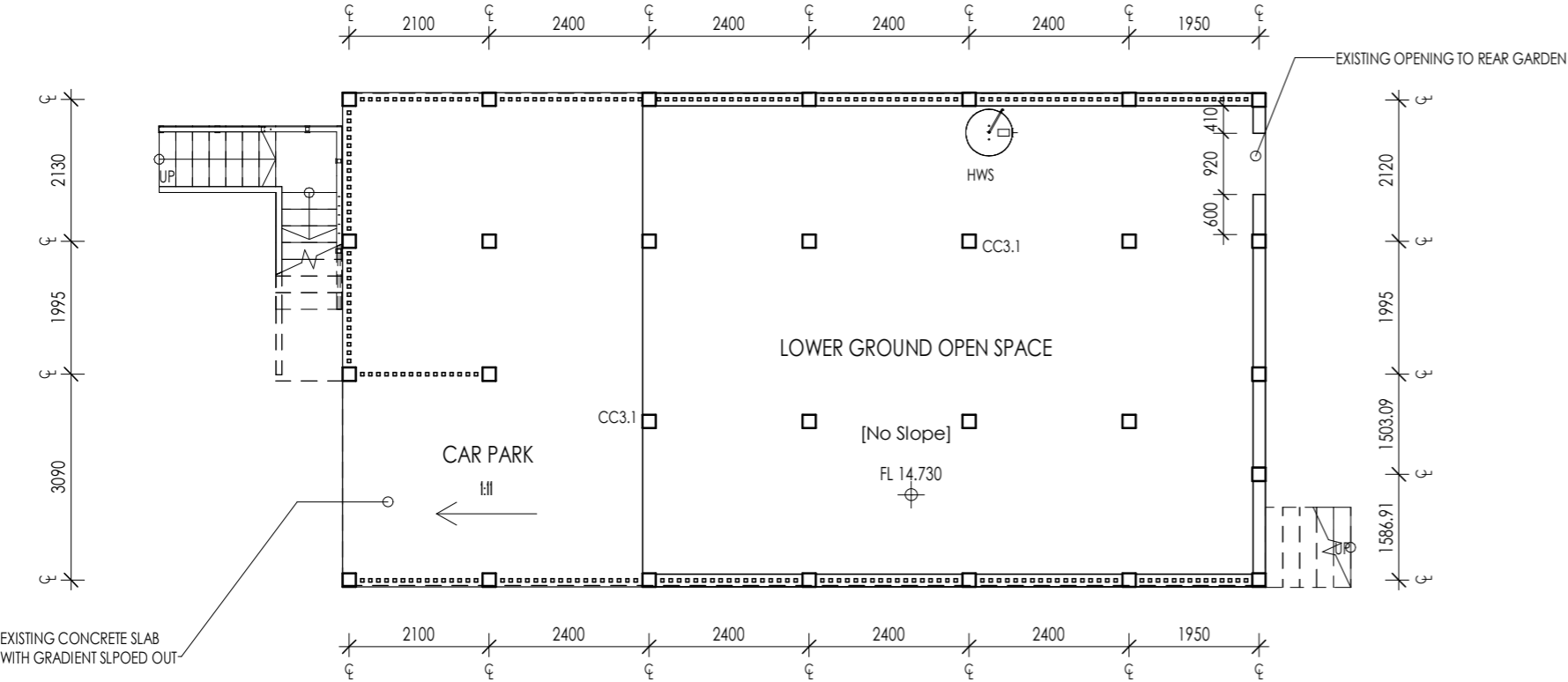
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PROPOSED NEW STORMWATER PIPE SHOW DASH BLUE TO BE DISCHARGED AND JOINED TO THE EXISTING DWELLING STORMWATER PIPE

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SHEET NUMBER & NAME
110.20 ROOF & STORMWATER MANAGEMENT PLAN



NOTE

SIZES PROVIDE FOR EXISTING ROOM ARE FOR REFENCE PURPOSED ONLY

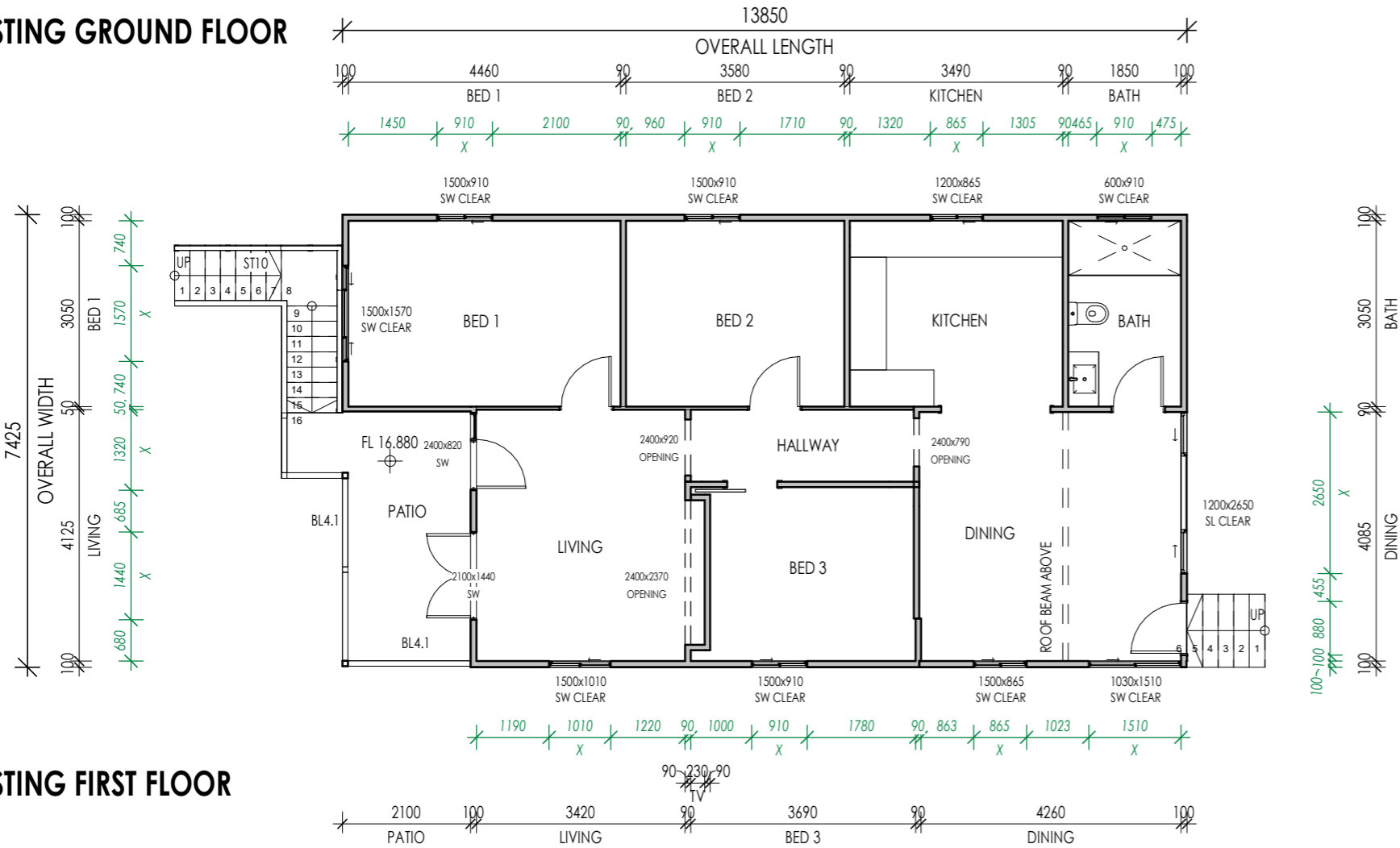
DO NOT TAKE THIS AS ACTUAL DIMENSION OF THE SPACE, DEVIATION NO MORE THAN 10mm

KEYNOTE LEGEND	
BL4.1	TIMBER BALUSTRADING
CC3.1	SQUARE CONCRETE COLUMN. SIZE TO ENGINEERS DETAILS
HWS	HOT WATER SYSTEM
ST10	OPEN-RISER EXTERNAL STAIRS

EXISTING AREA SCHEDULE	
NAME	AREA
EXISTING PATIO	9 m²
EXISTING INTERNAL SPACE	94 m²
GRAND TOTAL	103 m²

EXISTING GROUND FLOOR

1 : 100

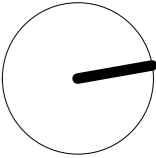


EXISTING FIRST FLOOR

1 : 100

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EXISTING ELEVATION A (FRONT)
1 : 100

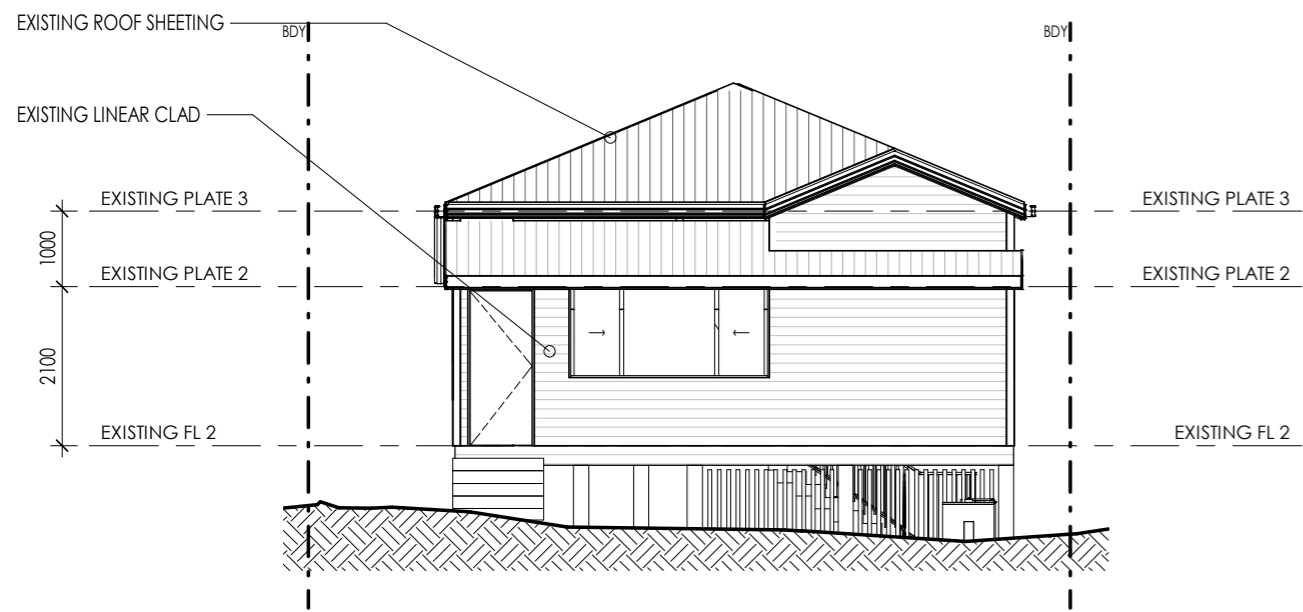


EXISTING ELEVATION C (LEFT)
1 : 100

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SHEET NUMBER & NAME
150.02 EXISTING ELEVATIONS



EXISTING ELEVATION B (REAR)
1 : 100



EXISTING ELEVATION C (RIGHT)
1 : 100

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K	SITE ISSUE	15.02.2023	AM		
L	CABINETRY EDIT	03.03.2023	AM		
M	DRAFTING AMENDMENT	21.06.2023	AM		

SHEET NUMBER & NAME
150.03 EXISTING ELEVATIONS

WALL LEGEND

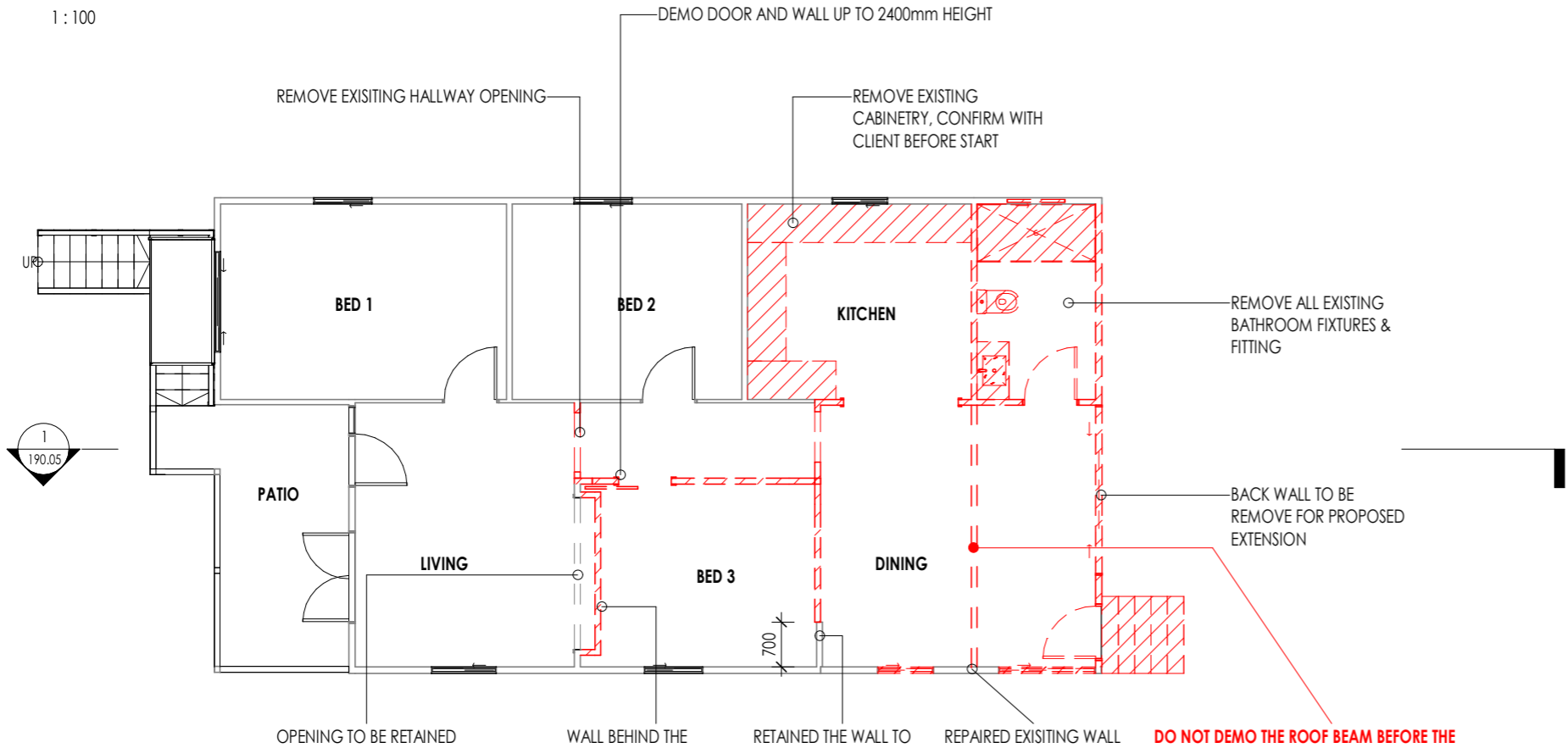
- DEMOLISHED
- PROPOSED NEW

GENRAL DEMOLISTION NOTES

- VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. BRING ANY DISCREPANCIES FROM THE DRAWINGS AND NOTES TO THE ARCHITECT IMMEDIATELY. MINOR CHANGES IN THE SCOPE OF THE DEMOLITION WORK SHALL NOT JUSTIFY AN ADDITIONAL COST.
2. REMOVAL OF EXISTING FIXTURES AND EQUIPMENT WILL REQUIRE ISOLATING THE PIPING RISERS OR MAINS VIA SHUT-OFF VALVES. INSTALL NEW ISOLATION VALVES WHERE REQUIRED FOR COMPLETION OF WORK.
3. REMOVAL OF EXISTING PLUMBING FIXTURES AND EQUIPMENT, ETC. WILL REQUIRE CAPPING AND SEALING EXISTING MAINS OR BRANCHES AS NECESSARY AND REQUIRED TO ALLOW THE REMAINING SYSTEMS TO FULLY OPERATE WITHOUT DEGRADATION. CONTRACTOR SHALL PROVIDE PROTECTIVE PLASTIC DROP CLOTHS TO PROTECT THE EXISTING OCCUPIED AREAS AND EQUIPMENT FROM DUST AND DEBRIS DURING THE CONSTRUCTION WORK, AND SHALL CLEAN THE AREAS OF ALL CONSTRUCTION DIRT DAILY, AND UPON COMPLETION OF THE WORK. REFER TO GENERAL CONDITIONS AND DIVISION 1 SECTIONS IN THE SPECIFICATIONS.
4. ALL DRAINED PIPING RISERS AND MAINS SHALL BE REFILLED WITH PROPER FLUID AND PROPERLY VENTED BY THIS CONTRACTOR, ONCE NEW WORK HAS BEEN INSTALLED.
5. COORDINATE WITH GENERAL CONTRACTOR THE REMOVAL AND REPLACEMENT OF ALL EXISTING CEILINGS, WALLS, ETC. AS REQUIRED FOR MECHANICAL DEMOLITION WORK.
6. EXISTING PIPING AND EQUIPMENT, ETC., NOT TO BE UTILIZED IN THE COMPLETED BUILDING SHALL BE DISCONTINUED OR REMOVED AS REQUIRED. ALL ENDS OF DISCONTINUED PIPING SHALL BE CAPPED IN THE NEAREST WALL, CEILING OR FLOOR SO THAT THEY ARE COMPLETELY CONCEALED. OPENINGS LEFT IN WALLS, CEILINGS, ETC., WHERE EQUIPMENT AND PIPE, ETC., ARE REMOVED AND NOT REPLACED, SHALL BE PATCHED NEATLY WITH SIMILAR MATERIAL TO ADJACENT CONSTRUCTION. REFER TO DRAWINGS DELINEATING NEW WORK FOR ADDITIONAL INFORMATION REGARDING SYSTEMS OR PORTIONS OF SYSTEMS WHERE USE IS TO BE DISCONTINUED.
7. EXISTING PIPING, FIXTURES AND EQUIPMENT THAT ARE NOT TO BE REUSED SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE OWNER IF THEY WISH TO RETAIN OWNERSHIP OF SAME. IF NOT, EQUIPMENT SHALL BECOME THE PROPERTY OF THIS CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AS SOON AS PRACTICAL AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS.
8. ALL CUTTING AND CHANNELING OF EXISTING BUILDING SHALL BE ACCOMPLISHED IN A NEAT AND WORKMANLIKE MANNER WITHOUT REMOVAL OF EXCESS MATERIALS. THIS CONTRACTOR SHALL PATCH AND REPLACE WITH MATERIAL SIMILAR TO ADJACENT CONSTRUCTION.
9. WHERE EXISTING PIPING AND EQUIPMENT, ETC., THAT ARE TO BE UTILIZED IN THE COMPLETED PROGRAM CONFLICT WITH NEW CONSTRUCTION AND THE REQUIRED DEMOLITION, THEY SHALL BE RELOCATED AND RECONNECTED TO MAINTAIN THE DESIRED SERVICE.
10. PORTIONS OF EXISTING SYSTEMS MAY BE SHOWN FOR CLARITY EVEN THOUGH IT MAY NOT BE NECESSARY TO MODIFY OR REVISE THEM. ALL EXISTING SYSTEMS ARE SHOWN BASED ON ORIGINAL OR REMODEL BUILDING DRAWINGS. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS.
11. ALL WORK MUST BE COORDINATED AND SCHEDULED WITH THE OWNER AND OCCUPANTS OF THIS BUILDING SO AS TO PROVIDE THE LEAST AMOUNT OF DISRUPTION OF BUILDING ACTIVITIES AS POSSIBLE.
12. ALL ACCESSIBLE ABANDONED PIPING AND DUCTWORK SHALL BE REMOVED AND PROPERLY DISPOSED OF.

DEMO GROUND FLOOR

1 : 100



DEMO FIRST FLOOR

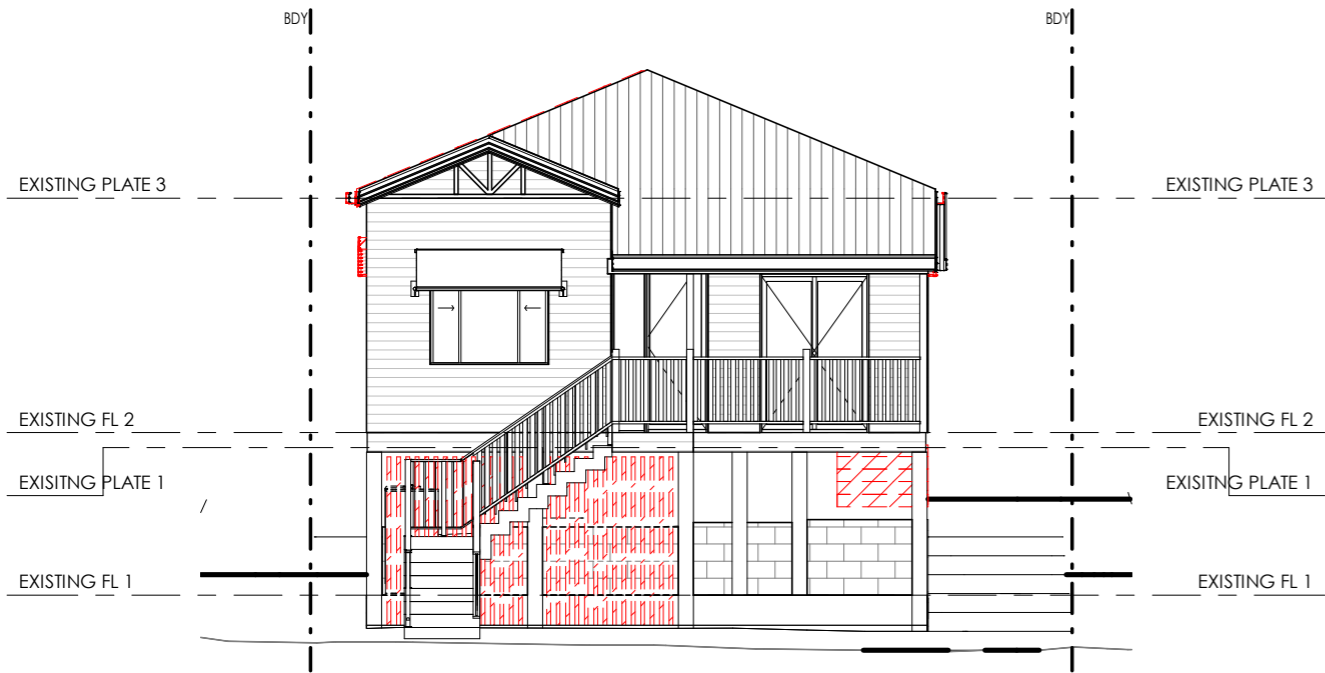
1 : 100

SITE ISSUE

REV	DESCRIPTION	DATE	BY	RP DESCRIPTION	PROJECT DESCRIPTION
E	JOINERY FOR PRICING	23.11.2022	AM	LOT NO: /	'PROPOSED EXTENSION'
F	DRAFTING AMENDMENT	30.01.2023	AM	AREA: /m²	/ - /
G	KITCHEN AMENDMENT	31.01.2023	AM	PLAN NO: /	/
H	ELECTRICAL APPROVAL	06.02.2023	AM	WARD: ?	
I	SITE ISSUE	07.02.2023	AM	SUBURB /	
J	SITE ISSUE	14.02.2023	AM	AUTHORITY: B.C.C	
K	SITE ISSUE	15.02.2023	AM		
L	CABINETRY EDIT	03.03.2023	AM		
M	DRAFTING AMENDMENT	21.06.2023	AM		

SHEET NUMBER & NAME

190.00 DEMOLITION PLANS

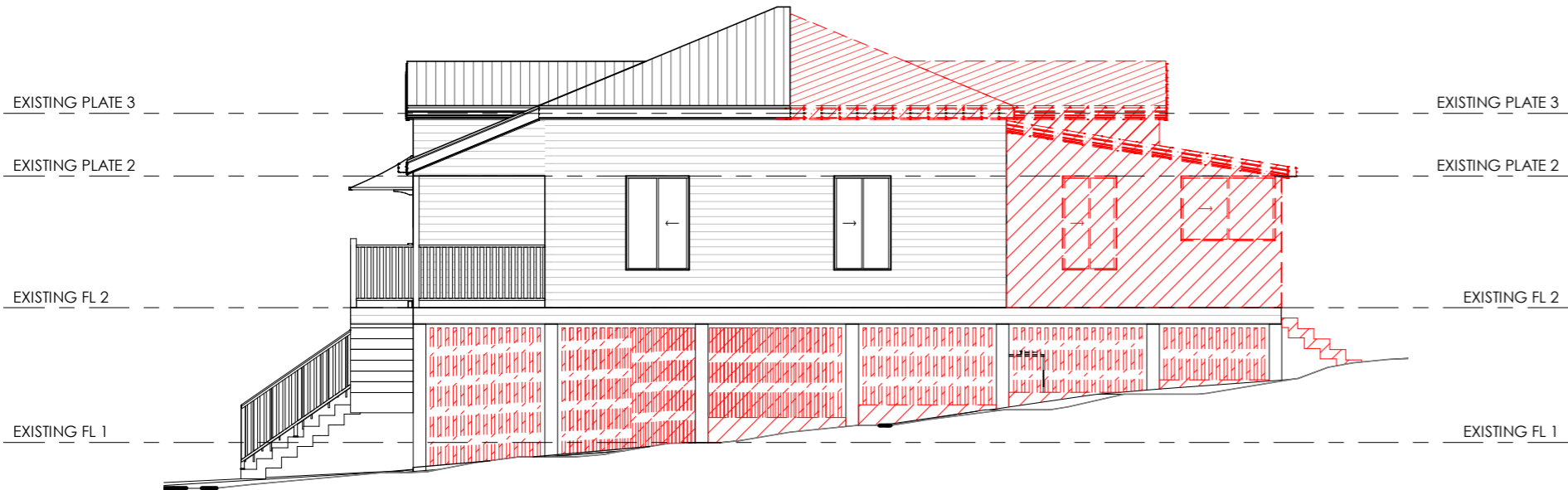


RETAINED ALL EXISTING FRONT FEATURE DESIGN

THE PROPOSED DEMO & EXTENSION ARE NOT RELEVANT TO FRONT PART OF THE HOUSE

DEMO ELEVATION D (WEST)

1 : 100



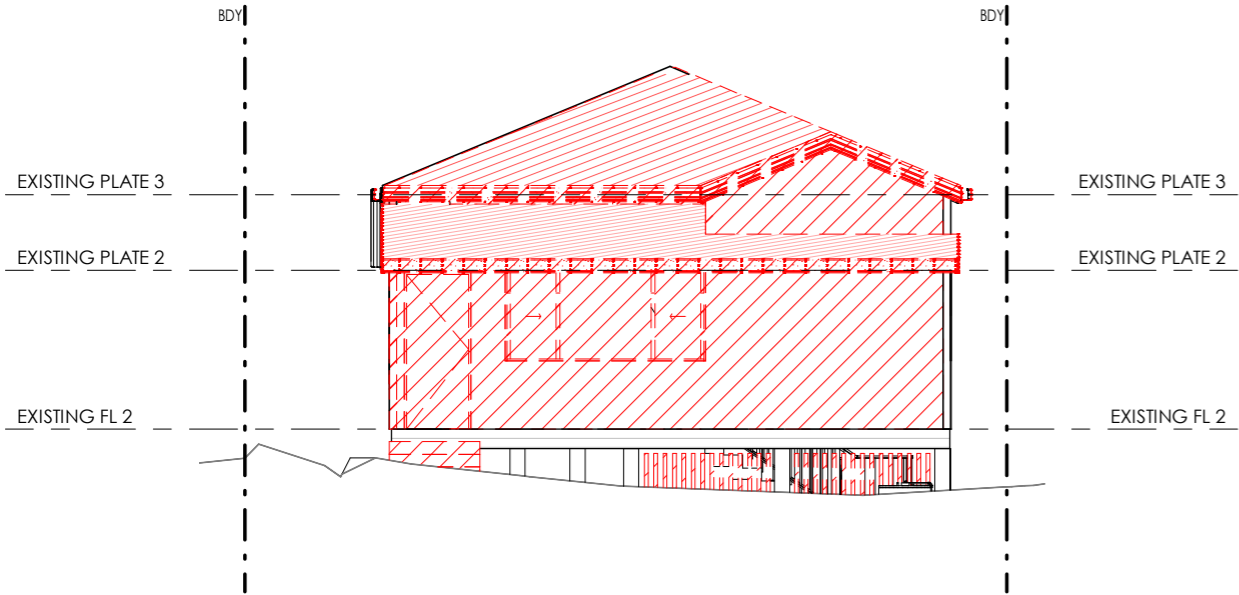
DEMO ELEVATION C (SOUTH)

1 : 100

SITE ISSUE

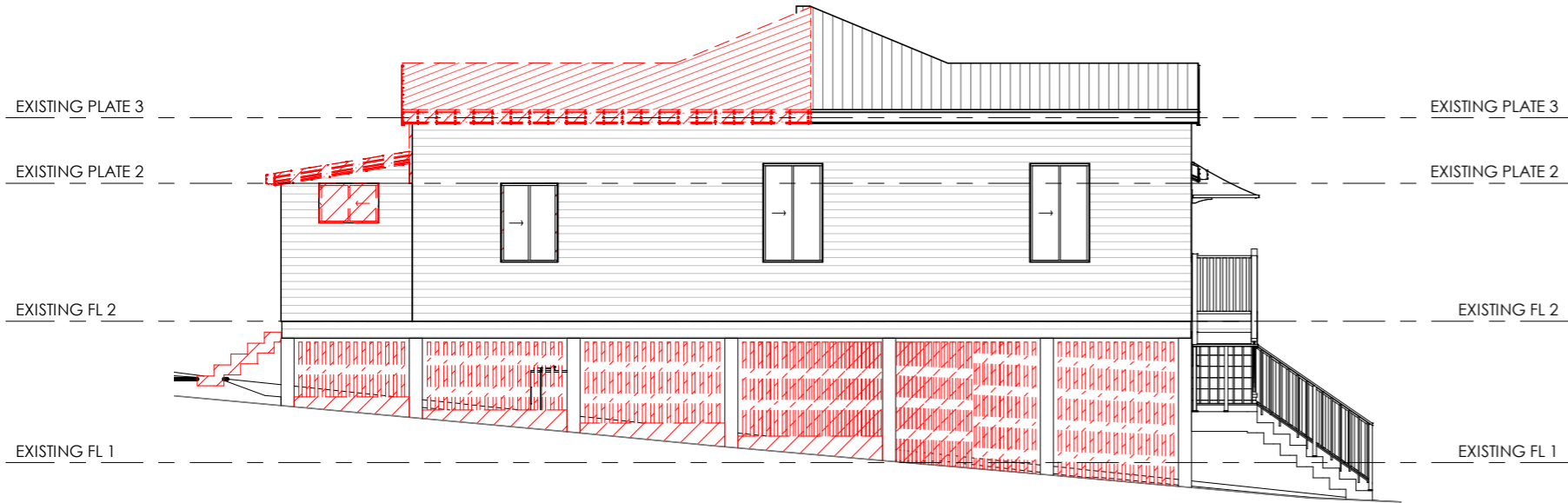
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F	DRAFTING AMENDMENT	30.01.2023	AM	AREA: /m²	/ - /
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K	SITE ISSUE	15.02.2023	AM		
L	CABINetry EDIT	03.03.2023	AM		
M	DRAFTING AMENDMENT	21.06.2023	AM		

SHEET NUMBER & NAME
190.02 DEMOLITION ELEVATIONS



DEMO ELEVATION B (EAST)

1 : 100



DEMO ELEVATION A (NORTH)

1 : 100

SITE ISSUE

REV	DESCRIPTION	DATE	BY	RP DESCRIPTION	PROJECT DESCRIPTION
E	JOINERY FOR PRICING	23.11.2022	AM	LOT NO: /	'PROPOSED EXTENSION'
F	DRAFTING AMENDMENT	30.01.2023	AM	AREA: /m²	/ - /
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M	DRAFTING AMENDMENT	21.06.2023	AM		

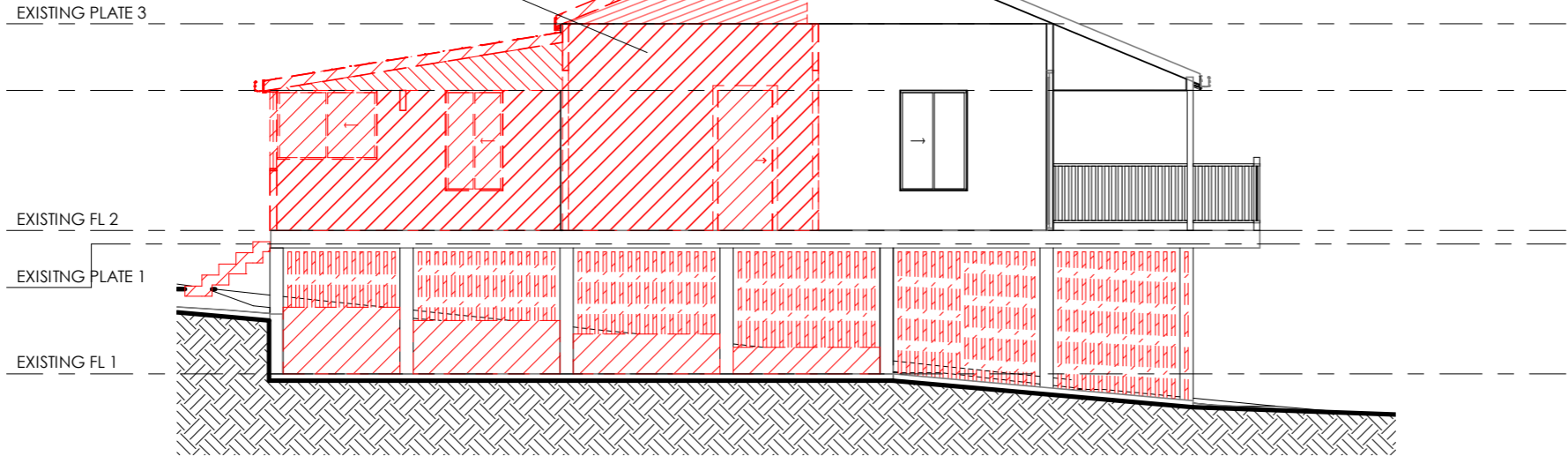
SHEET NUMBER & NAME

190.03 DEMOLITION ELEVATIONS

DEMO WALL AND RETAINED OPENING UP TO 2400mm HEIGHT, PLACED NEW OPENING LINTEL AS REQUIRED, SIZE REFER TO ENGINEER

DEMO REAR PART ROOF STRUCTURE AND SHEETING
REPLACED NEW ACCRODDLY AFTER, REFER TO PROPOSED PLAN FOR MORE INFORMATION

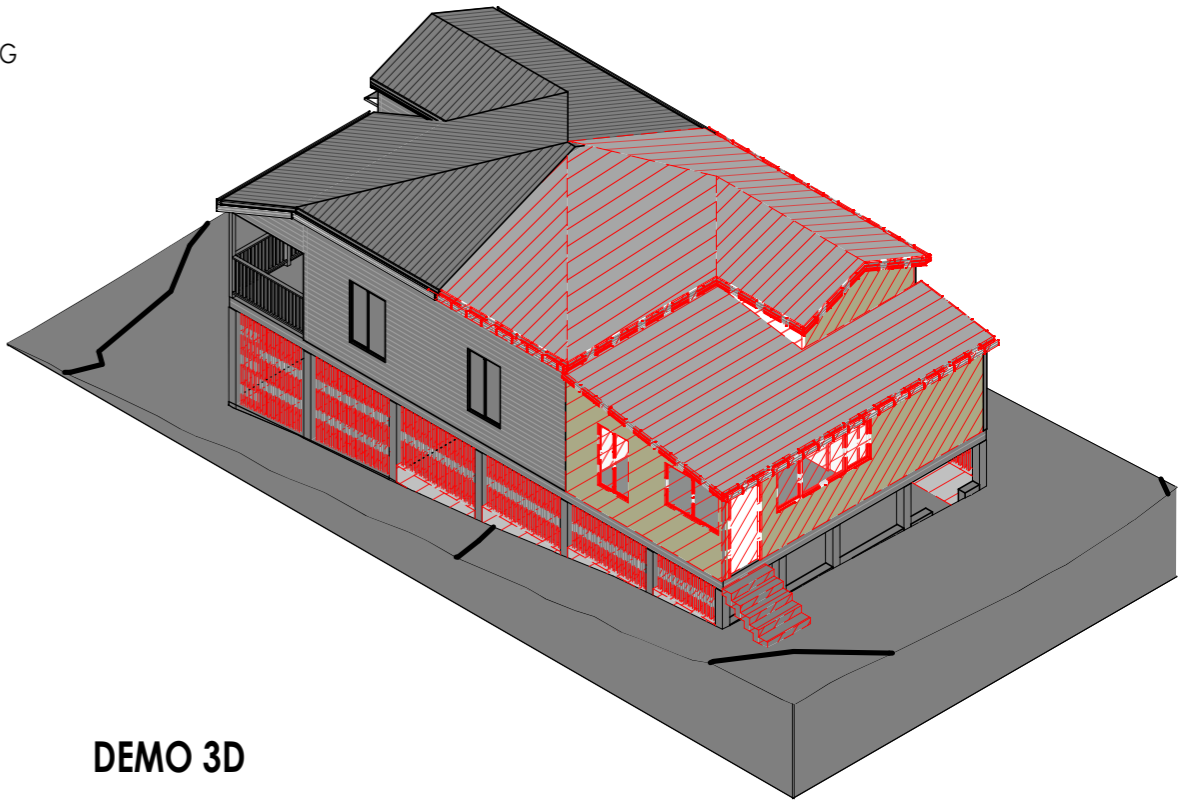
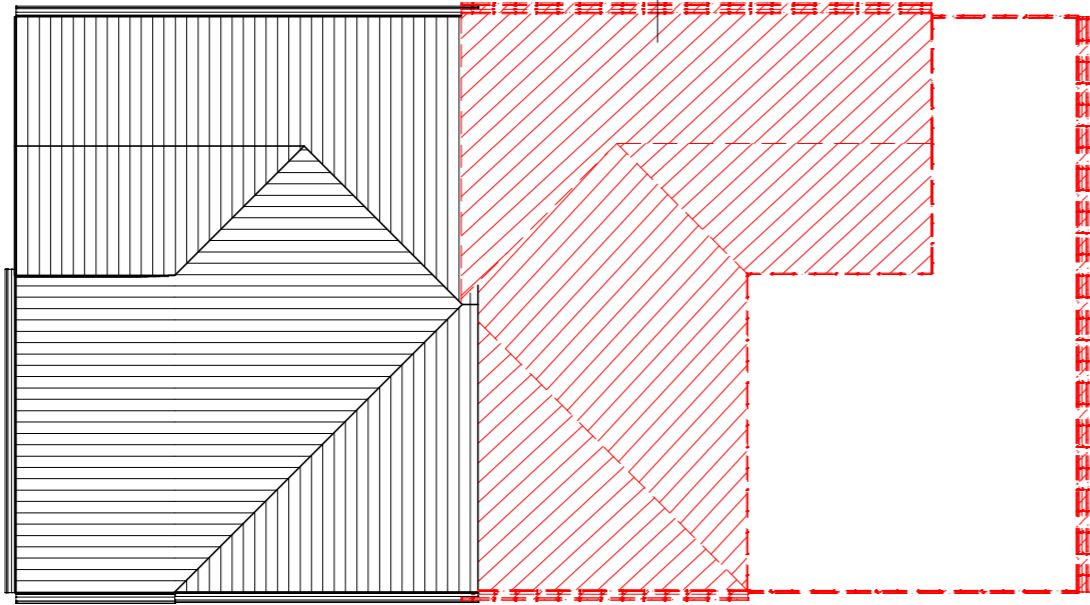
RETAINED EXISTING FRONT ROOF AND MADE GOOD AS PER B.C.C HERITAGE CODE



DEMO SECTION 1

1 : 100

DEMO ALL REAR EXISTING ROOF STRUCTURE
DO NOT TOUCH AND MADE GOOD FRONT ROOF STRUCTURE AND SHEETING



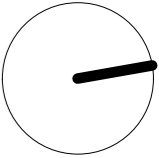
DEMO 3D

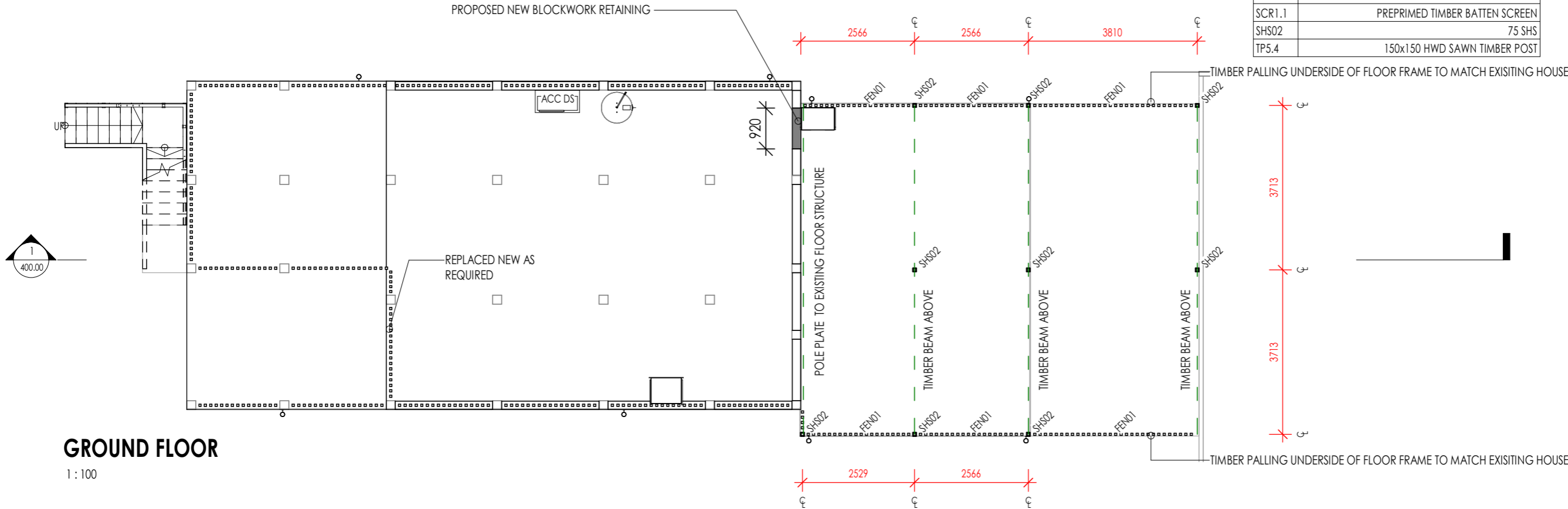
DEMO ROOF PLAN

1 : 100

SITE ISSUE

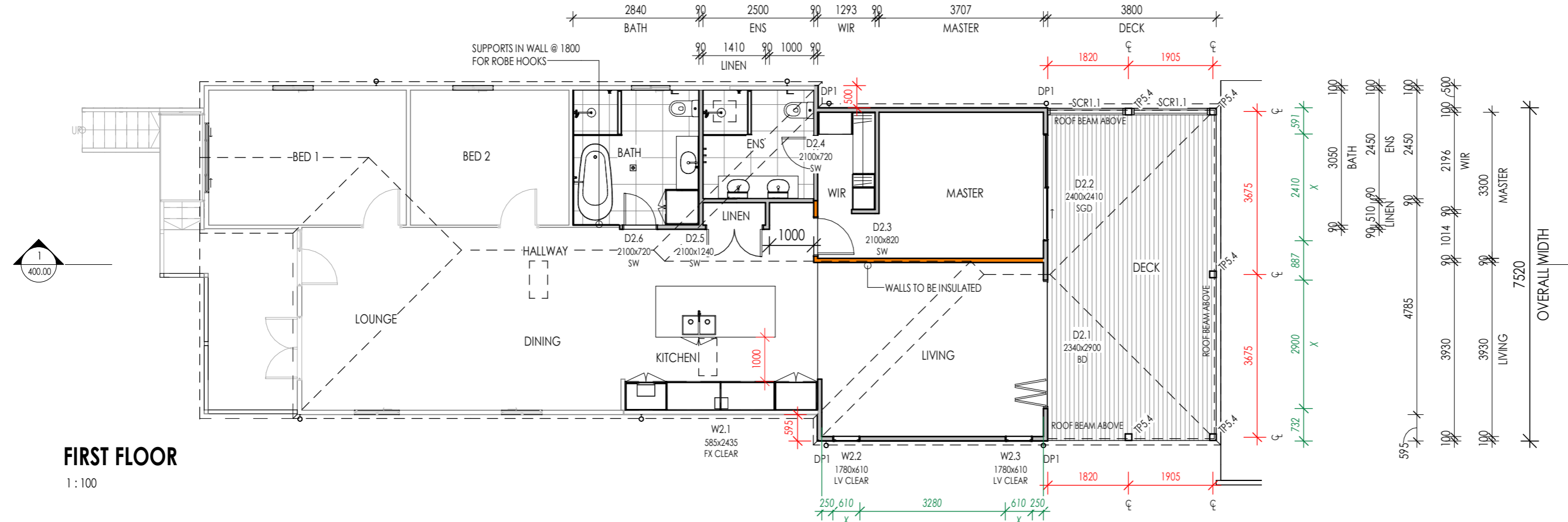
REV	DESCRIPTION	DATE	BY	RP DESCRIPTION	PROJECT DESCRIPTION
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M	DRAFTING AMENDMENT	21.06.2023	AM		





GROUND FLOOR

1 : 100



FIRST FLOOR

1 : 100

AREA SUMMARY	
EXISTING INTENRAL SPACE	94 m²
EXISTING PATIO	9 m²
PROPOSED EXTENSION	39 m²
PROPOSED ALFRESCO	28 m²
	170 m²

WALL LEGEND

- DEMOLISHED
- PROPOSED NEW

MARKETING NOTES

FURNITURE SHOWN PROOVES AS AN INDICATIVE LAYOUT. HOWEVER THIS SHOULD NOT BE USED AS A LITERAL GUIDE. CHECK SIZES TO ENSURE YOUR FURNITURE LAYOUT WILL WORK THE WAY YOU WANT IT.

FURNITURE IS NOT INCLUDED WITHIN BUILD CONTRACT

VEHICLES DO NOT COME APART OF THE PACKAGE

ROOM SIZES ARE NOT TO SCALE AND WHAT IS SHOWN DOES NOT ALLOW FOR TOLERANCE. FINAL PRODUCT MAY SLIGHTLY DIFFER.

PLAN NOTES

REFER TO SHEET 100.10 FOR CONSTRUCTION METHODOLOGY FOR ITEMS SUCH AS:

- ROOFING
- WALL FRAMING
- CEILINGS
- EXTERNAL WALL LININGS
- INTERNAL WALL LININGS
- INSULATION

SMOKE ALARMS & EXHAUST FANS
REFER TO SMOKE DETECTOR AND EXHAUST FAN LOCATIONS ON SHEETS 240 SERIES

GRID LINES ALIGN WITH REBATE/OUTER MOST STRUCTURAL PART OF WALL

REFER TO ALL JOINERY DETAILS ON SHEETS 800 SERIES

REFER TO ALL SHEET 110.10 FOR ALL SLAB SETDOWNS AND REBATE DETAILS

REFER TO SHEET 100.10 FOR CONSTRUCTION METHODOLOGY

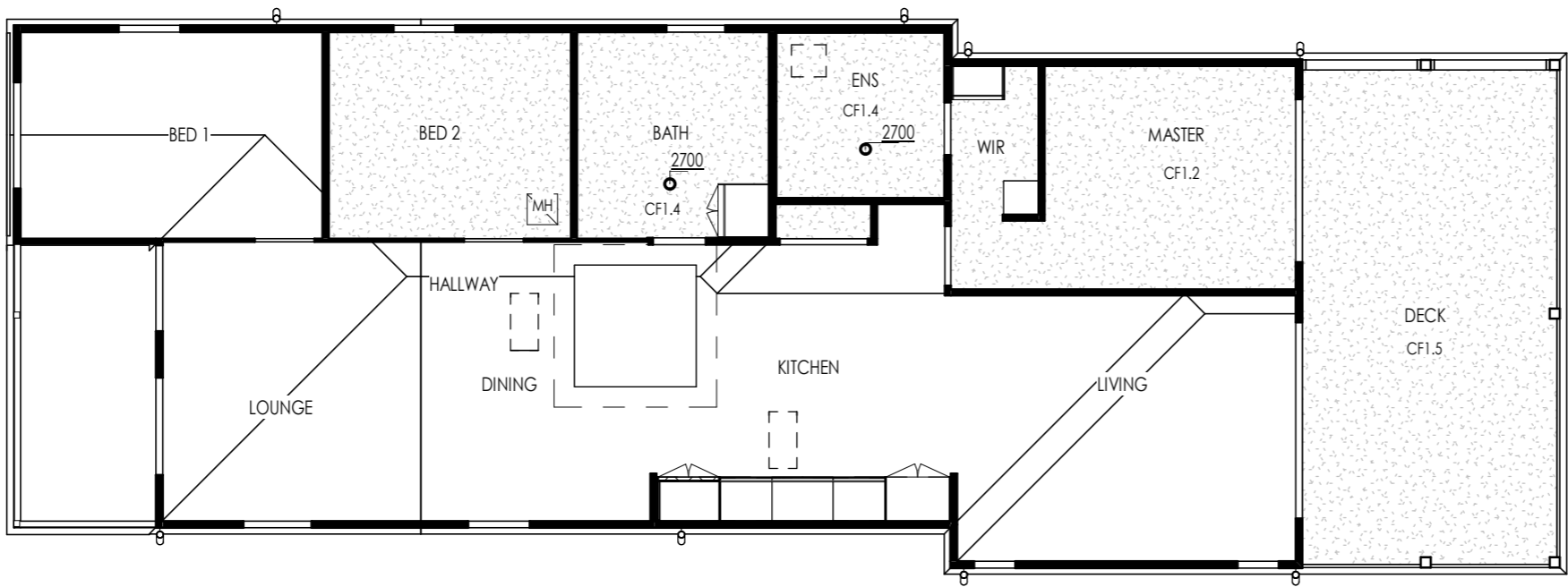
ALL PARAPET WALLS MUST HAVE FC BACKING AND BE FLASHED AS REQUIRED

SITE ISSUE

REV	DESCRIPTION	DATE	BY	RP DESCRIPTION	PROJECT DESCRIPTION
E	JOINERY FOR PRICING	23.11.2022	AM	LOT NO: /	'PROPOSED EXTENSION'
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L	CABINETY EDIT	03.03.2023	AM		
M	DRAFTING AMENDMENT	21.06.2023	AM		

KEYNOTE LEGEND	
CF1.2	PLASTERBOARD CEILING - CORNICE
CF1.4	WET AREA PLASTERBOARD CEILING - CORNICE
CF1.5	WET AREA PLASTERBOARD CEILING - EXTERNAL USE
MH	MANHOLE

MAIN AREA TO MATCH WITH EXISTING HOUSE FCL

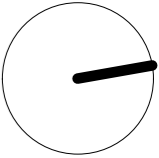


FIRST FLOOR - RCP FINISH

1 : 100

SITE ISSUE

REV		DESCRIPTION	DATE	BY	RP DESCRIPTION	PROJECT DESCRIPTION
E		JOINERY FOR PRICING	23.11.2022	AM	LOT NO: /	'PROPOSED EXTENSION'
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K		SITE ISSUE	15.02.2023	AM		
L		CABINetry EDIT	03.03.2023	AM		
M		DRAFTING AMENDMENT	21.06.2023	AM		
						SHEET NUMBER & NAME 220.10 RCP - FIRST FLOOR








































LIGHTING NOTES:

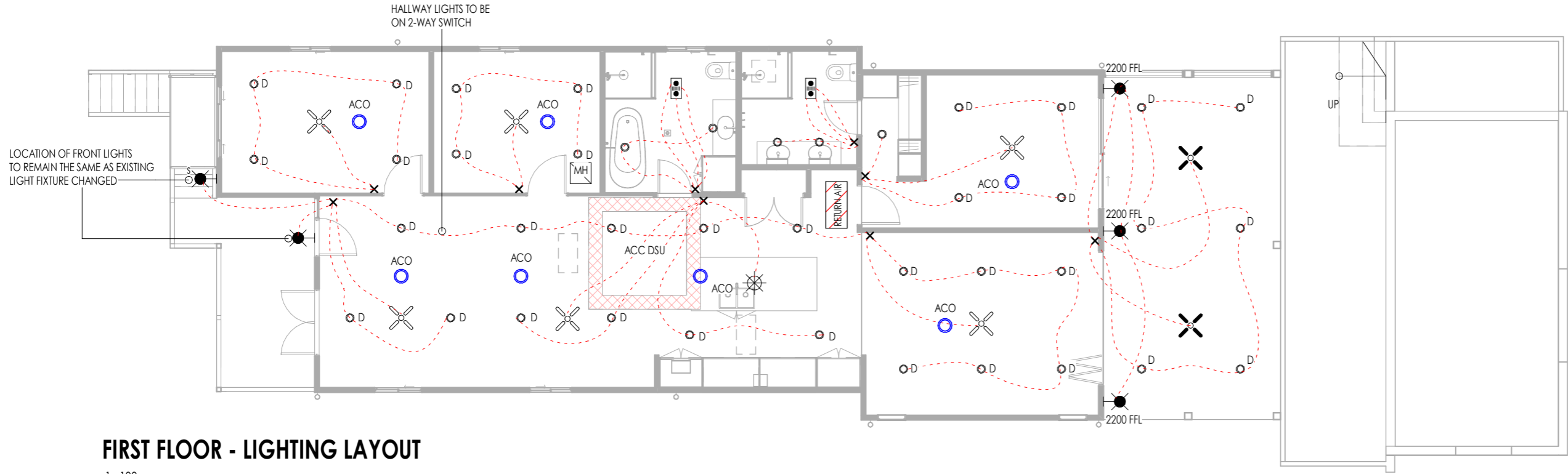
- D
- LIGHTS TO BE ON DIMMER
- S
- SENSOR LIGHT

ELECTRICAL SCHEDULE

6	CEILING FAN - INDOORS
2	CEILING FAN - OUTDOORS
1	FEATURE LIGHT
22	GPO DOUBLE
3	GPO DOUBLE (EXTERNAL)
6	GPO SINGLE
2	HEAT LAMP (2 LIGHTS) WITH EXHAUST
40	LED RECESSED DOWNLIGHT
9	LIGHT AND/FAN SWITCH

ELECTRICAL LEGEND

-  OUTDOOR CEILING FAN WITH LIGHT
-  OUTDOOR CEILING FAN
-  INDOOR CEILING FAN WITH LIGHT
-  INDOOR CEILING FAN
-  EXHAUST FAN
-  2 IN 1 EXHAUST FAN & LIGHT COMBO
-  FEATURE LIGHT
-  EXTERNAL SENSED LIGHT
-  1200mm FLUORO LIGHT - SINGLE
-  1200mm FLUORO LIGHT - DOUBLE
-  RECESSED LED DOWN LIGHT
-  PENDANT DOWN LIGHT
-  WALL LIGHT (EXTERNAL)
-  WALL LIGHT (INTERNAL)
-  WALL MOUNTED STAIRS LIGHT
-  RECESSED FLOOR LIGHT
-  MULTIPLE RAIL SPOT LIGHT
-  SINGLE RAIL LIGHT
-  HEAT LAMPS (2 LIGHTS)
-  2-LIGHT HEAT LAMP COMBINATION WITH EXHAUST FAN
-  4-LIGHT HEAT LAMP COMBINATION WITH EXHAUST FAN AND LIGHT
-  LIGHT AND FAN SWITCH(S)
-  AIRCONDITIONING CONTROL PANEL
-  SMOKE DETECTOR
-  NBN DATA POINT
-  TV COAXIAL POINT
-  TELSTRA PHONE LINE
-  SINGLE POWER POINT
-  DOUBLE POWER POINT
-  JUNCTION BOX
-  METER BOX
-  NETWORK TERMINATION DEVICE - GPO(S) REQ.
-  NBN PREMISES CONNECTION DEVICE - GPO(S) EXT. REQ.
-  INTERCOM WITH CAMERA
-  SECURITY CAMERA
-  AUDIO POINT
-  AC OUTLET

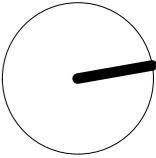


FIRST FLOOR - LIGHTING LAYOUT

1 : 100

SITE ISSUE

REV	DESCRIPTION	DATE	BY	RP DESCRIPTION	PROJECT DESCRIPTION
E	JOINERY FOR PRICING	23.11.2022	AM	LOT NO: /	'PROPOSED EXTENSION'
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L	CABINTRY EDIT	03.03.2023	AM		
M	DRAFTING AMENDMENT	21.06.2023	AM	AUTHORITY: B.C.C	
					SHEET NUMBER & NAME 230.10 LIGHTING LAYOUT - FIRST FLOOR



ELECTRICAL NOTES:






































LOCATIONS OF GPO'S IN BATHROOMS AND KITCHEN TO BE FOUND IN ELEVATIONS

EXISTING GPO'S THAT ARE TO REMAIN TO HAVE
PLATES CHANGED TO MATCH NEW

ELECTRICAL SCHEDULE

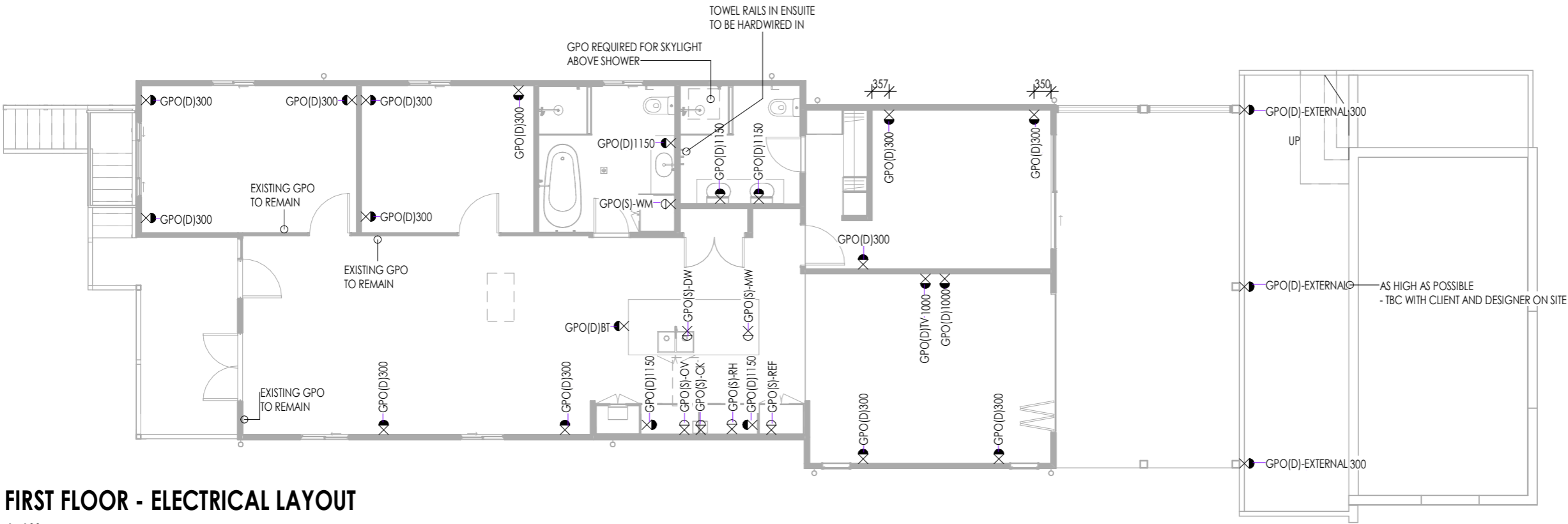
6	CEILING FAN - INDOORS
2	CEILING FAN - OUTDOORS
1	FEATURE LIGHT
22	GPO DOUBLE
3	GPO DOUBLE (EXTERNAL)
6	GPO SINGLE
2	HEAT LAMP (2 LIGHTS) WITH EXHAUST
40	LED RECESSED DOWNLIGHT
9	LIGHT AND/FAN SWITCH

ELECTRICAL LEGEND

- | | |
|---|--|
|  | OUTDOOR CEILING FAN WITH LIGHT |
|  | OUTDOOR CEILING FAN |
|  | INDOOR CEILING FAN WITH LIGHT |
|  | INDOOR CEILING FAN |
|  | EXHAUST FAN |
|  | 2 IN 1 EXHAUST FAN & LIGHT COMBO |
|  | FEATURE LIGHT |
|  | EXTERNAL SENSED LIGHT |
|  | 1200mm FLUORO LIGHT - SINGLE |
|  | 1200mm FLUORO LIGHT - DOUBLE |
|  | RECESSED LED DOWN LIGHT |
|  | PENDANT DOWN LIGHT |
|  | WALL LIGHT (EXTERNAL) |
|  | WALL LIGHT (INTERNAL) |
|  | WALL MOUNTED STAIRS LIGHT |
|  | RECESSED FLOOR LIGHT |
|  | MULTIPLE RAIL SPOT LIGHT |
|  | SINGLE RAIL LIGHT |
|  | HEAT LAMPS (2 LIGHTS) |
|  | 2-LIGHT HEAT LAMP COMBINATION WITH EXHAUST FAN |
|  | 4-LIGHT HEAT LAMP COMBINATION WITH EXHAUST FAN AND LIGHT |
|  | LIGHT AND FAN SWITCH(S) |
|  | AIRCONDITIONING CONTROL PANEL |
|  | SMOKE DETECTOR |
|  | NBN DATA POINT |
|  | TV COAXIAL POINT |
|  | TELSTRA PHONE LINE |
|  | SINGLE POWER POINT |
|  | DOUBLE POWER POINT |
|  | JUNCTION BOX |
|  | METER BOX |
|  | NETWORK TERMINATION DEVICE - GPO(S) REQ. |
|  | NBN PREMISES CONNECTION DEVICE - GPO(S) EXT. REQ. |
|  | INTERCOM WITH CAMERA |
|  | SECURITY CAMERA |
|  | AUDIO POINT |
|  | AC OUTLET |

GROUND - ELECTRICAL LAYOUT

1 : 100

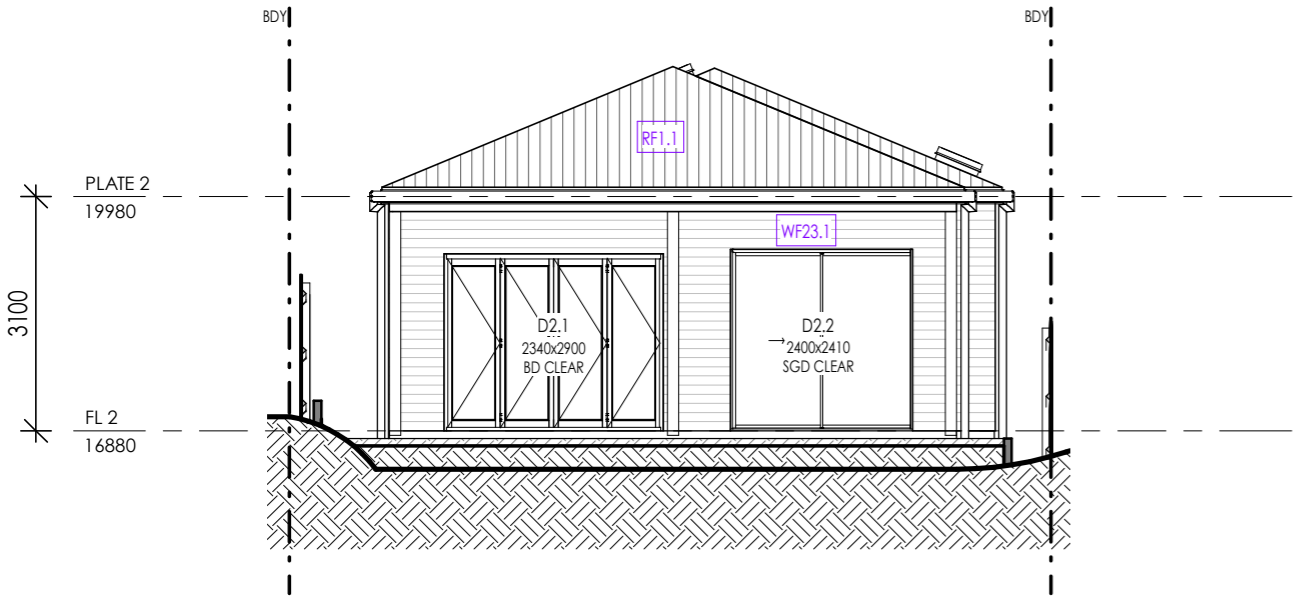


FIRST FLOOR - ELECTRICAL LAYOUT

1 : 100

SITE ISSUE

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		J	SITE ISSUE	14.02.2023	AM	AUTHORITY: B.C.C	
		K	SITE ISSUE	15.02.2023	AM		SHEET NUMBER & NAME
		L	CABINETRY EDIT	03.03.2023	AM		230.20 ELECTRICAL LAYOUT - FIRST FLOOR
		M	DRAFTING AMENDMENT	21.06.2023	AM		



REAR ELEVATION

1 : 100



SIDE (L) ELEVATION

1 : 100

ABOVE NATURAL GROUND LINES INDICATED IS NOT A TRUE REPRESENTATION OF ITS CUT LOCATION. REFER TO SHEET 350.00 & SHEET 400 SERIES FOR A TRUE REPRESENTATION OF ABOVE NATURAL GROUND HEIGHTS

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KEYNOTE LEGEND	
RF1.1	METAL ROOF SHEETING
SCR1.1	PREPRIMED TIMBER BATTEN SCREEN
WF23.1	TIMBER FINISH

ELEVATION NOTES

REFER TO SHEET 100.10 FOR CONSTRUCTION METHODOLOGY FOR ITEMS SUCH AS:

- ROOFING
- WALL FRAMING
- CEILINGS
- EXTERNAL WALL LININGS
- INTERNAL WALL LININGS
- INSULATION

WINDOW SCHEDULE ON SHEET 500 SERIES INDICATES WHICH WINDOWS REQUIRE SCREENING OR GLAZING TREATMENT TO MEET PRIVACY REQUIREMENTS

ALL LIGHTWEIGHT CLADDING TO BE DIRECT FIXED UNO

ALL UNTREATED TIMBERS USED IN ROOF FRAMING ARE TO BE FULLY CONCEALED BY CLADDING

CEILING AND SOFFIT FIXED USING 70x35mm TIMBER BATTENS UNO

CODES USED FOR FINISHES ARE ELLOBORATED MORE IN DETAIL IN THE FINISH SCHEDULES

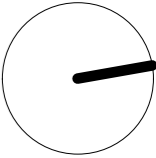
FLASHING WHERE VISIBLE FROM GROUND MUST MATCH OR CONTRAST WALL UNO. REFER TO FINISH SCHEDULE FOR CONFIRMATION

SLAB AND FOOTINGS AS PER ENGINEERS DETAILS

ALL PARAPET WALLS MUST HAVE FC BACKING AND BE FLASHED AS REQUIRED

INTERNAL WET AREAS
ALL WET AREAS TO COMPLY WITH NCC 3.8.1.2 & AS 3740 - 2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS

SITE ISSUE



KEYNOTE LEGEND

WF10.1

JH LINEA 150

ELEVATION NOTES

REFER TO SHEET 100.10 FOR CONSTRUCTION METHODOLOGY FOR ITEMS SUCH AS:
-ROOFING
-WALL FRAMING
-CEILINGS
-EXTERNAL WALL LININGS
-INTERNAL WALL LININGS
-INSULATION

WINDOW SCHEDULE ON SHEET 500 SERIES INDICATES WHICH WINDOWS REQUIRE SCREENING OR GLAZING TREATMENT TO MEET PRIVACY REQUIREMENTS

ALL LIGHTWEIGHT CLADDING TO BE DIRECT FIXED UNO

ALL UNTREATED TIMBERS USED IN ROOF FRAMING ARE TO BE FULLY CONCEALED BY CLADDING

CEILING AND SOFFIT FIXED USING 70x35mm TIMBER BATTENS UNO

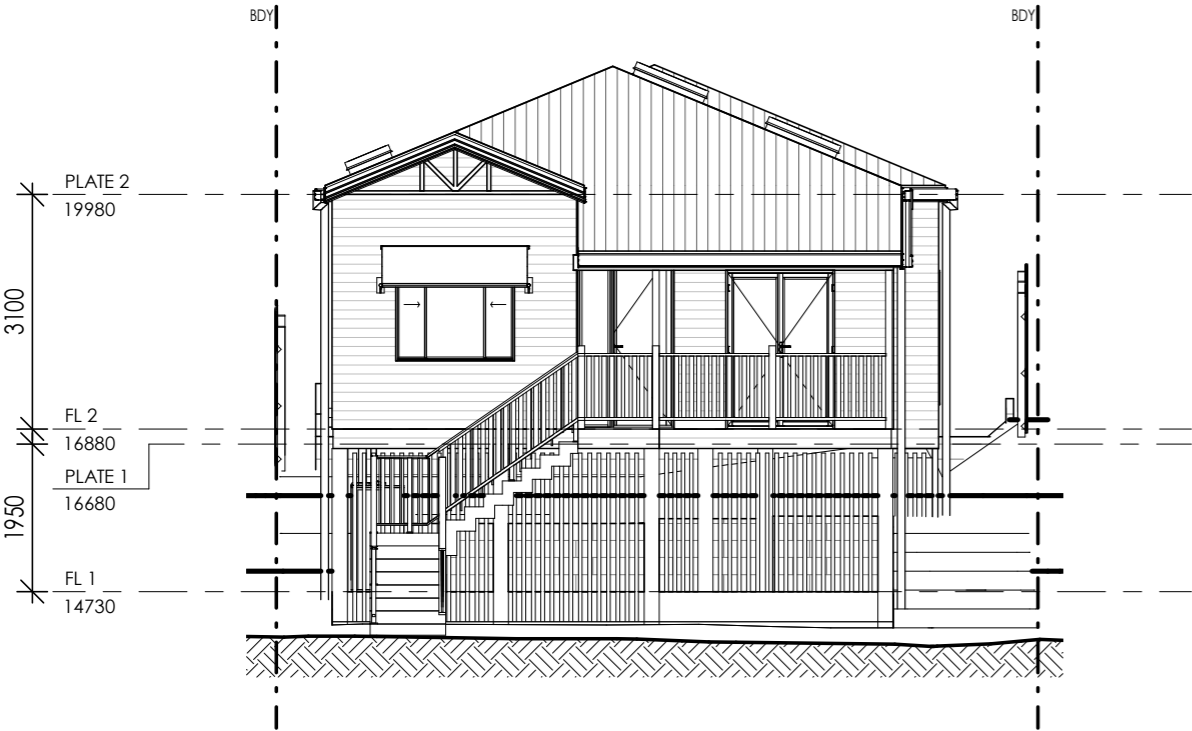
CODES USED FOR FINISHES ARE ELLOBORATED MORE IN DETAIL IN THE FINISH SCHEDULES

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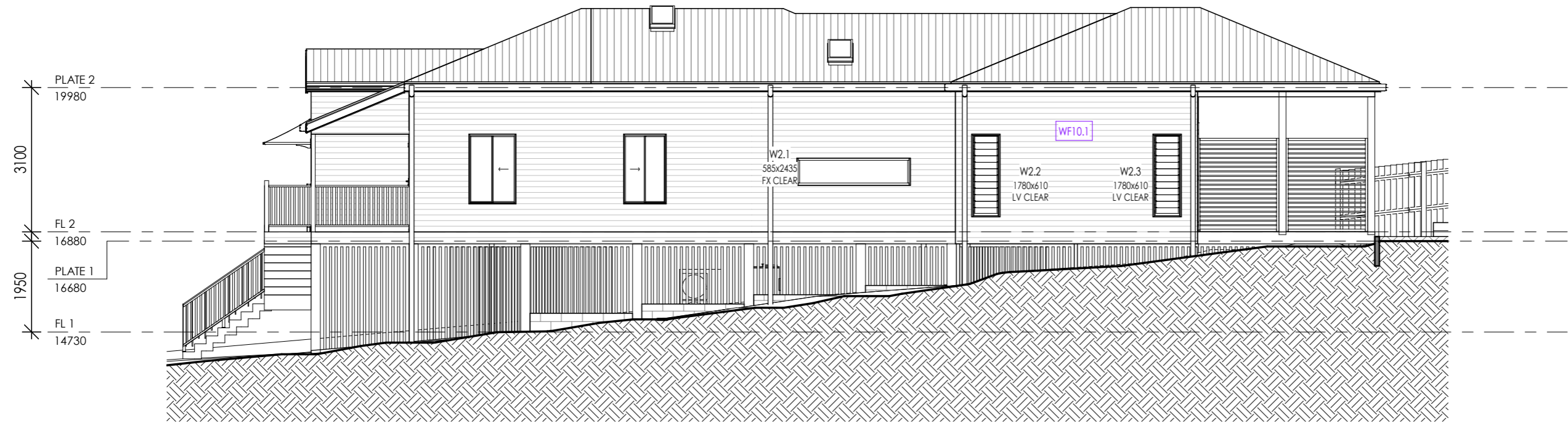
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INTERNAL WET AREAS
ALL WET AREAS TO COMPLY WITH NCC 3.8.1.2 & AS 3740 - 2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS



FRONT ELEVATION

1 : 100



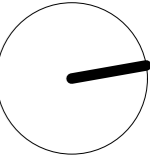
SIDE (R) ELEVATION

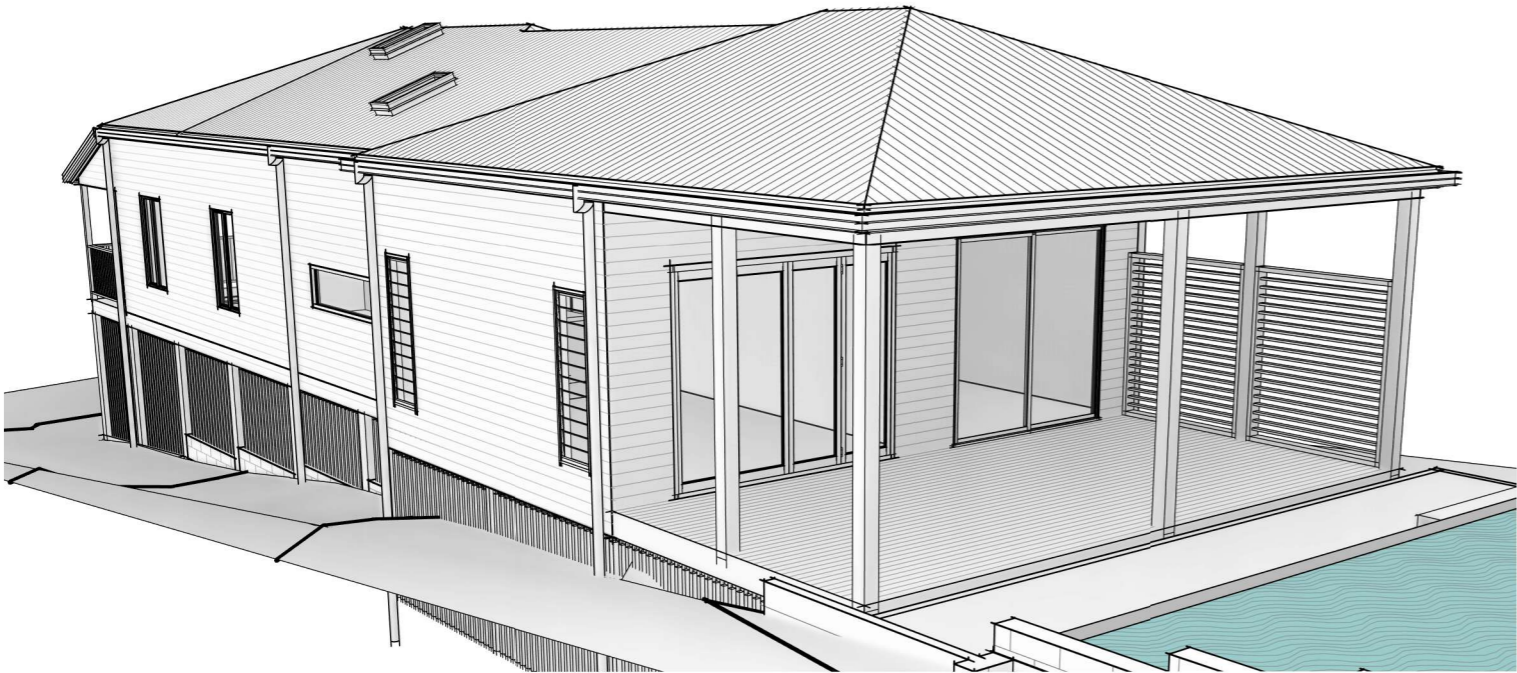
1 : 100

ABOVE NATURAL GROUND LINES INDICATED IS NOT A TRUE REPRESENTATION OF ITS CUT LOCATION. REFER TO SHEET 350.00 & SHEET 400 SERIES FOR A TRUE REPRESENTATION OF ABOVE NATURAL GROUND HEIGHTS

SITE ISSUE

REV	DESCRIPTION	DATE	BY	RP DESCRIPTION	PROJECT DESCRIPTION
E	JOINERY FOR PRICING	23.11.2022	AM	LOT NO: /	'PROPOSED EXTENSION'
F	DRAFTING AMENDMENT	30.01.2023	AM	AREA: /m²	/ - /
G	KITCHEN AMENDMENT	31.01.2023	AM	PLAN NO: /	/
H	ELECTRICAL APPROVAL	06.02.2023	AM	WARD: ?	
I	SITE ISSUE	07.02.2023	AM	SUBURB /	
J	SITE ISSUE	14.02.2023	AM	AUTHORITY: B.C.C	
K	SITE ISSUE	15.02.2023	AM		
L	CABINETY EDIT	03.03.2023	AM		
M	DRAFTING AMENDMENT	21.06.2023	AM		





FRONT LEFT PERSPECTIVE

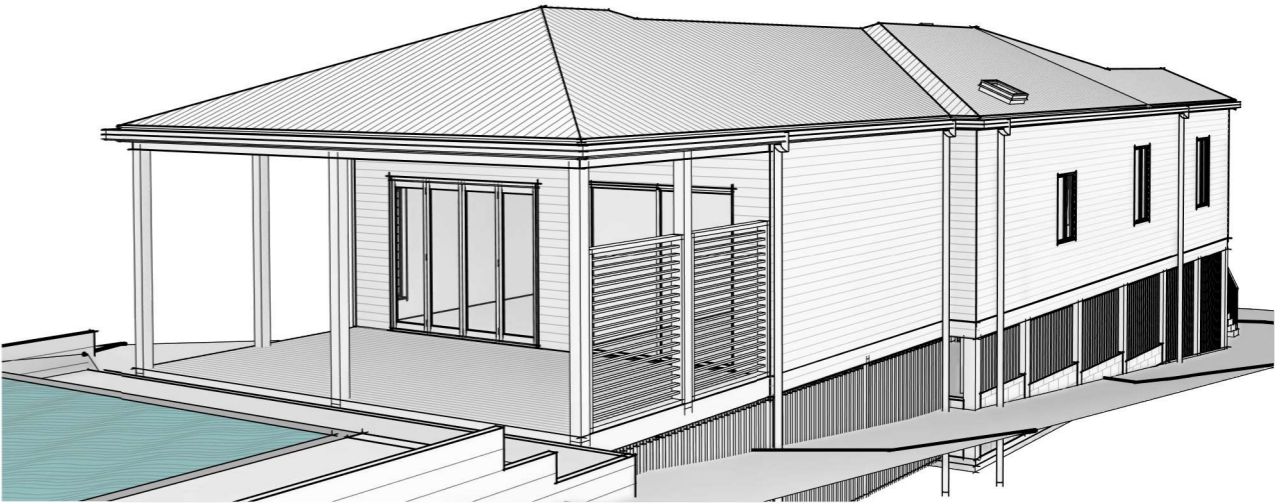


BACK LEFT PERSPECTIVE

SITE ISSUE

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L	CABINETRY EDIT	03.03.2023	AM		
M	DRAFTING AMENDMENT	21.06.2023	AM		

SHEET NUMBER & NAME
310.00 PERSPECTIVE ELEVATIONS



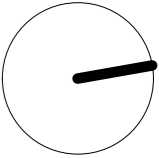
FRONT RIGHT PERSPECTIVE



BACK RIGHT PERSPECTIVE

SITE ISSUE

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		L	CABINETRY EDIT	03.03.2023	AM		
		M	DRAFTING AMENDMENT	21.06.2023	AM		
						SHEET NUMBER & NAME	
						310.01 PERSPECTIVE ELEVATIONS	



KEYNOTE LEGEND

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- ROOFING
- WALL FRAMING
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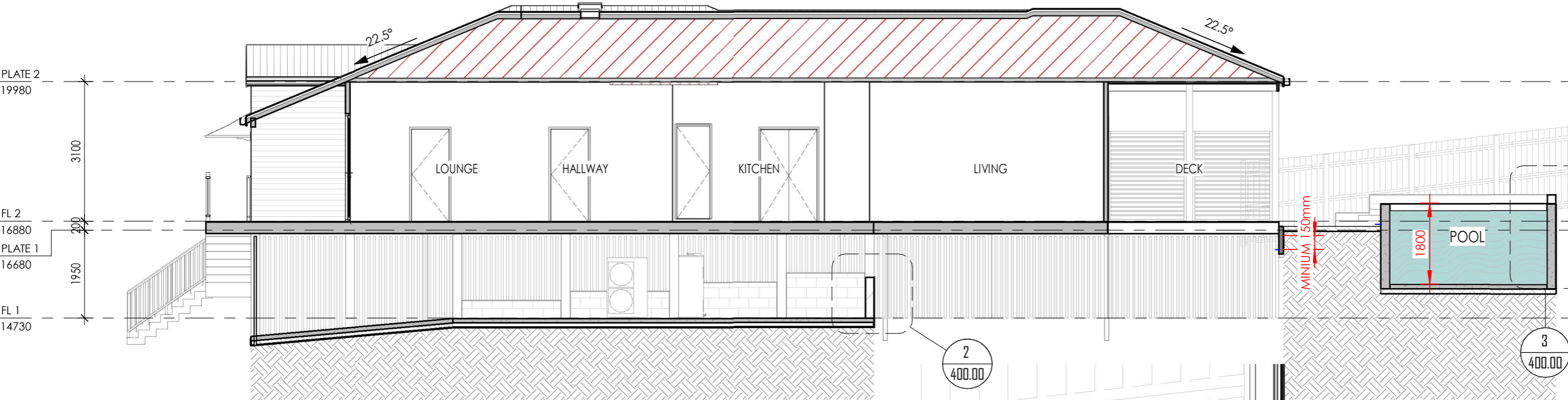
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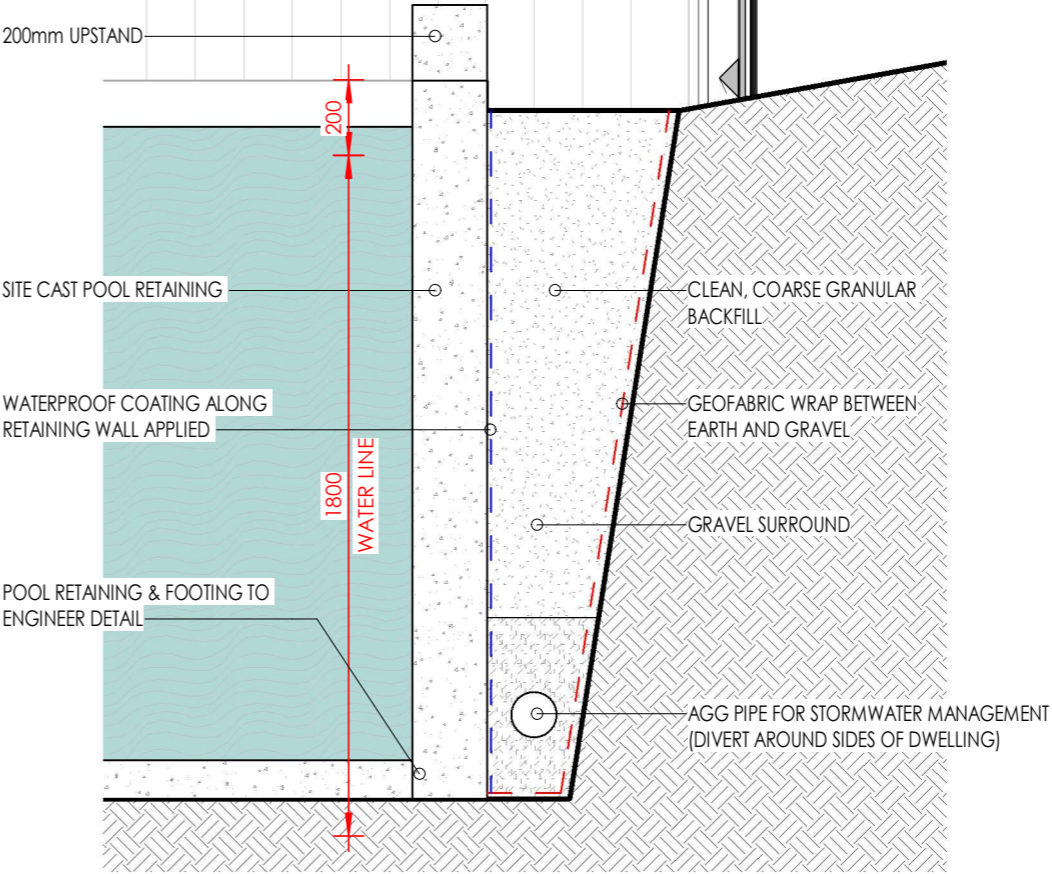
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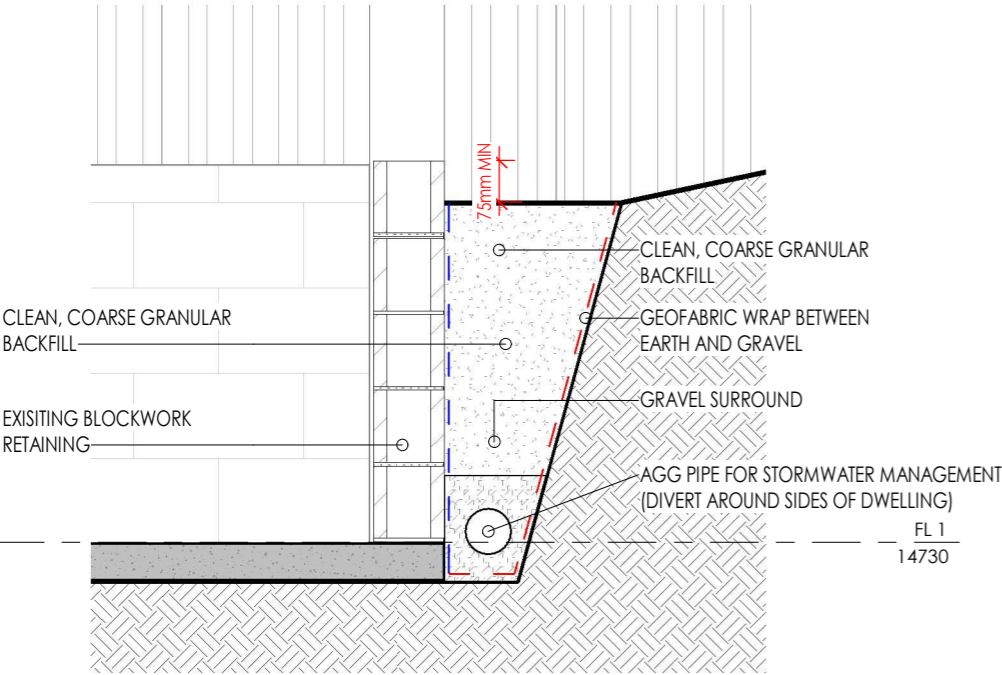
Section 1

1 : 100



Section 1 - Callout 2

1 : 20

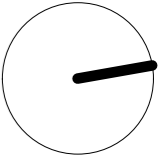


Section 1 - Callout 1

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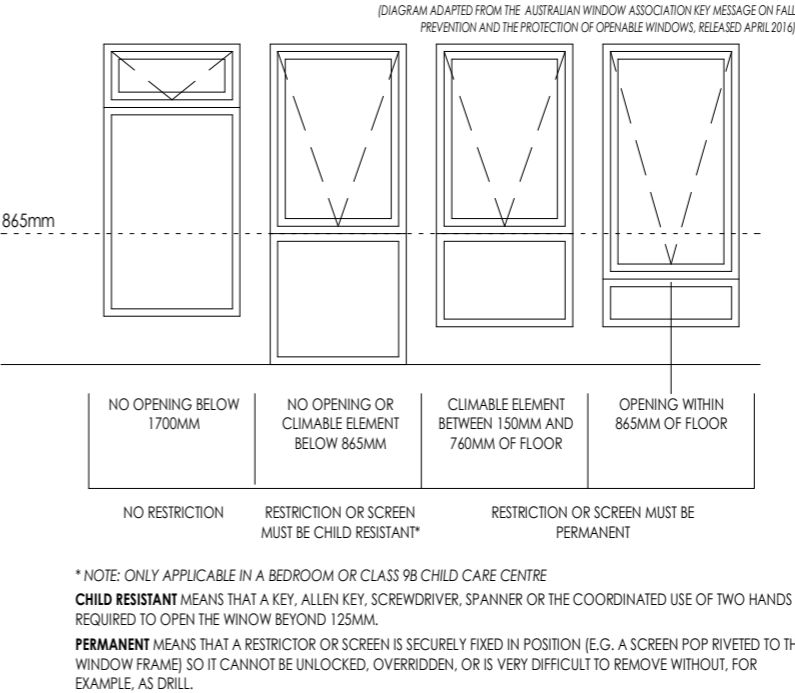
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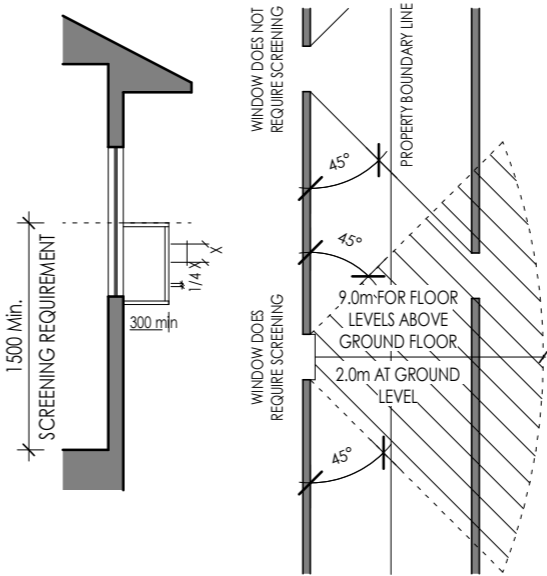


DOOR & WINDOW REQUIREMENTS

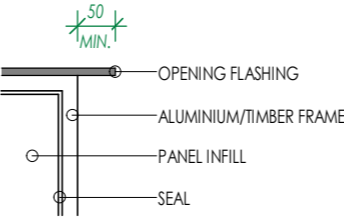
<p>PROTECTION OF OPENABLE WINDOWS - BEDROOMS</p> <p>WINDOWS MUST BE COMPLIANT WITH: BCA VOL. 2 PART 3.9.2.6 "PROTECTION OF OPENABLE WINDOWS - BEDROOMS"</p> <p>(A) A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION, IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2 M OR MORE ABOVE THE SURFACE BENEATH.</p> <p>(B) WHERE THE LOWEST LEVEL OF THE WINDOW OPENING IS LESS THAN 1.7 M ABOVE THE FLOOR, A WINDOW OPENING COVERED BY (A) MUST COMPLY WITH THE FOLLOWING: (I) THE OPENABLE PORTION OF THE WINDOW MUST BE PROTECTED WITH— (A) A DEVICE TO RESTRICT THE WINDOW OPENING; OR (B) A SCREEN WITH SECURE FITTINGS. (II) A DEVICE OR SCREEN REQUIRED BY (I) MUST— (A) NOT PERMIT A 125 MM SPHERE TO PASS THROUGH THE WINDOW OPENING OR SCREEN; AND (B) RESIST AN OUTWARD HORIZONTAL ACTION OF 250N AGAINST THE— (AA) WINDOW RESTRAINED BY A DEVICE; OR (BB) SCREEN PROTECTING THE OPENING; AND (C) HAVE A CHILD RESISTANT RELEASE MECHANISM IF THE SCREEN OR DEVICE IS ABLE TO BE REMOVED, UNLOCKED OR OVERRIDDEN.</p> <p>(C) WHERE A DEVICE OR SCREEN PROVIDED IN ACCORDANCE WITH (B)(I) IS ABLE TO BE REMOVED, UNLOCKED OR OVERRIDDEN, A BARRIER WITH A HEIGHT NOT LESS THAN 865 MM ABOVE THE FLOOR IS <i>REQUIRED</i> TO THE OPENABLE WINDOW IN ADDITION TO WINDOW PROTECTION.</p> <p>(D) A BARRIER COVERED BY (C) MUST NOT— (I) PERMIT A 125 MM SPHERE TO PASS THROUGH IT; AND (II) HAVE ANY HORIZONTAL OR NEAR HORIZONTAL ELEMENTS BETWEEN 150 MM AND 760 MM ABOVE THE FLOOR THAT FACILITATE CLIMBING (SEE FIGURE 3.9.2.5).</p>	<p>PROTECTION OF OPENABLE WINDOWS - ROOMS OTHER THAN BEDROOMS</p> <p>WINDOWS MUST BE COMPLIANT WITH: NCC VOL. 2 PART 3.9.2.7 "PROTECTION OF OPENABLE WINDOWS - ROOMS OTHER THAN BEDROOMS"</p> <p>(A) A WINDOW OPENING IN A ROOM OTHER THAN A BEDROOM MUST BE PROVIDED WITH PROTECTION WHERE THE FLOOR BELOW THE WINDOW IS 4 M OR MORE ABOVE THE SURFACE BENEATH.</p> <p>(B) THE OPENABLE PART OF THE WINDOW COVERED BY (A) MUST BE PROTECTED WITH A BARRIER WITH A HEIGHT OF NOT LESS THAN 865 MM ABOVE THE FLOOR.</p> <p>(C) A BARRIER <i>REQUIRED</i> BY (B) MUST NOT— (I) PERMIT A 125 MM SPHERE TO PASS THROUGH IT; AND (II) HAVE ANY HORIZONTAL OR NEAR HORIZONTAL ELEMENTS BETWEEN 150 MM AND 760 MM ABOVE THE FLOOR THAT FACILITATE CLIMBING. (SEE FIGURE 3.9.2.6)</p> <p>SCREENING REQUIREMENTS:</p> <p>BUILDINGS LESS THAN 2M FROM THE NEIGHBOURING HOUSE AT GROUND LEVEL OR 9M FOR STOREYS ABOVE GROUND LEVEL, SCREENING IS REQUIRED FOR HABITABLE ROOM WINDOWS, DECKS, BALCONIES, TERRACES OR ROOF DECKS WHERE THE SIGHT LINE IS WITHIN 45 DEGREES AS SHOWN IN DIAGRAM. WINDOWS WITH A SILL HEIGHT LESS THAN 1.5M ABOVE FLOOR LEVEL MUST COMPLY WITH SCREENING REQUIRMENTS. WHERE AT THE GROUND STOREY, ANY BOUNDARY FENCING TO A HEIGHT OF 1.5M ABOVE GROUND-STOREY FLOOR LEVEL ACTS AS SCREENING. ALL DECKS, BALCONYS, TERRACES, OR ROOF DECKS ARE TO HAVE FIXED SCREENING UP TO 1.5M ABOVE FLOOR LEVEL.</p> <p><u>COMPLIANT SCREENING INCLUDES:</u></p> <ul style="list-style-type: none">- SOLID TRANSLUCENT SCREENS, PERFORATED OR SLATTED PANELS OR FIXED LOUVRES- SCREENS MUST HAVE A MAXIMUM OF 25% OPENINGS, WITH A MAXIMUM OPENING DIMENSION OF 50MM- OFFSET A MINIMUM OF 0.3M FROM THE FACE OF THE WALL AROUND ANY WINDOW.- FIXED TRANSLUCENT GLAZING UP TO 1.5M ABOVE FLOOR LEVEL	<p>SANITARY COMPARTMENT NOTE</p> <p>PROVIDE LIFT OFF HINGE DOOR WHERE 1200MM BETWEEN PAN AND SWING DOOR CANNOT BE ACHIEVED.</p> <p>DOOR & WINDOW NOTES</p> <p>ALL DOORS AND WINDOWS ARE:</p> <p>-ALL CLEAR GLASS UNLESS STATED OTHERWISE ON THE PLANS OR NOTED IN THE ENERGY EFFICIENCY REPORT</p> <p>-ALUMINIUM FRAME DOORS AND WINDOWS TO BE POWDER COATED TO OWNER'S SELECTION</p> <p>-TIMBER FRAMED DOORS OR WINDOWS TO BE STAINED OR PAINTED TO OWNER'S SELECTION</p> <p>-ALL WINDOWS AND DOORS ARE NOMINAL ONLY AND ALL SIZES AND TOLERANCES ARE TO BE CONFIRMED BY THE SELECTED WINDOW AND DOOR MANUFACTURE.</p> <p>-ALL WINDOWS AND DOORS ARE TO BE SITE MEASURED AND ANY CONFLICTS BETWEEN THE PLAN/ELEVATIONS AND THE SCHEDULE SPECIAL REQUIREMENTS ARE TO BE CONFIRMED BETWEEN THE CONSTRUCTION MANAGER AND THE CLIENT PRIOR TO ORDERING.</p> <p>-ALL COMMERCIAL DOORS TO COMPLY WITH BCA REQUIREMENTS AND DISABILITY (ACCESS TO PREMISES- BUILDINGS) STANDARDS CODE</p> <p>ALL UNPROTECTED OPENINGS TO HAVE OVERHEAD FLASHING EXTENSIONS NO LESS THAN 50mm</p>
<ul style="list-style-type: none">ALL WINDOWS AND DOORS CAN BE PRESUMED TO MATCH STANDARD SIZING AS PER THE SELECTED SUPPLIER WHEN ACHIEIVABLE.GLAZING SCHEDULE IS TO BE CHECKED BY DRAFTING BEFORE PURCHASE ORDER IS ISSUED.REFER TO ENERGY EFFICIENCY REPORT FOR ANY GLAZING REQUIREMENTS TO WINDOWS OR DOORS TO COMPLY WITH ENERGY EFFICIENCY REQUIREMENTS		



WINDOW RESTRICTOR REQUIREMENTS



SCREENING REQUIREMENTS



OPENING FLASHING PROTECTION

WINDOW LEGEND

AW	AWNING
BFW	BI-FOLD
CM	CASEMENT
DH	DOUBLE HUNG
SH	SINGLE HUNG
FX	FIXED
FX CNR	FIXED CORNER (BUTT JOIN)
LV	LOUVRE
SKY.L	SKYLIGHT
SL	SLIDING

DOOR LEGEND

SW	SWING
BFD	BI-FOLD
CV	CAVITY SLIDER
FD	FRENCH
FS	FACE SLIDER
JD	JOINERY
PL	PANEL LIFT
PV	PIVOT
RD	ROLLER
RSD	ROBE SLIDER
SGD	SLIDING GLASS
SGD CNR	SLIDING GLASS CORNER

GLAZING OPTIONS

CLEAR
TRANSLUCENT
OBSCURE
FROSTED
PATTERNED
SATIN
TINTED
LOW-E

ARCHITRAVE SIZES

42x12 GENERAL AREA
42x19 WET AREA

66x12 GENERAL AREA
66x18 WET AREA

REVEAL FINISH

STANDARD (TIMBER)
SQUARE SET
TILE

SITE ISSUE

		<table><tr><td>REV</td><td>DESCRIPTION</td><td>DATE</td><td>BY</td></tr><tr><td>E</td><td>JOINERY FOR PRICING</td><td>23.11.2022</td><td>AM</td></tr><tr><td>F</td><td>DRAFTING AMENDMENT</td><td>30.01.2023</td><td>AM</td></tr><tr><td>G</td><td>KITCHEN AMENDMENT</td><td>31.01.2023</td><td>AM</td></tr><tr><td>H</td><td>ELECTRICAL APPROVAL</td><td>06.02.2023</td><td>AM</td></tr><tr><td>I</td><td>SITE ISSUE</td><td>07.02.2023</td><td>AM</td></tr><tr><td>J</td><td>SITE ISSUE</td><td>14.02.2023</td><td>AM</td></tr><tr><td>K</td><td>SITE ISSUE</td><td>15.02.2023</td><td>AM</td></tr><tr><td>L</td><td>CABINETRY EDIT</td><td>03.03.2023</td><td>AM</td></tr><tr><td>M</td><td>DRAFTING AMENDMENT</td><td>21.06.2023</td><td>AM</td></tr></table>	REV	DESCRIPTION	DATE	BY	E	JOINERY FOR PRICING	23.11.2022	AM	F	DRAFTING AMENDMENT	30.01.2023	AM	G	KITCHEN AMENDMENT	31.01.2023	AM	H	ELECTRICAL APPROVAL	06.02.2023	AM	I	SITE ISSUE	07.02.2023	AM	J	SITE ISSUE	14.02.2023	AM	K	SITE ISSUE	15.02.2023	AM	L	CABINETRY EDIT	03.03.2023	AM	M	DRAFTING AMENDMENT	21.06.2023	AM	<table><tr><td>RP DESCRIPTION</td></tr><tr><td>LOT NO: /</td></tr><tr><td>AREA: /m²</td></tr><tr><td>PLAN NO: /</td></tr><tr><td>WARD: ?</td></tr><tr><td>SUBURB /</td></tr><tr><td>AUTHORITY: B.C.C</td></tr></table>	RP DESCRIPTION	LOT NO: /	AREA: /m²	PLAN NO: /	WARD: ?	SUBURB /	AUTHORITY: B.C.C	<table><tr><td>PROJECT DESCRIPTION</td></tr><tr><td>'PROPOSED EXTENSION'</td></tr><tr><td>/ - /</td></tr><tr><td>/</td></tr><tr><td>SHEET NUMBER & NAME</td></tr><tr><td>500.00 DOOR & WINDOW (GENERAL NOTES & LEGENDS)</td></tr></table>	PROJECT DESCRIPTION	'PROPOSED EXTENSION'	/ - /	/	SHEET NUMBER & NAME	500.00 DOOR & WINDOW (GENERAL NOTES & LEGENDS)	
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ALL ALUMINIUM FRAMED WINDOWS & DOORS SUPPLIED BY 'TREND' UNO
USE STANDARD SIZING FROM SYNERGY RANGE WHERE ACHIEVABLE

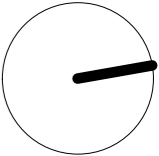
WINDOW SCHEDULE											
LEVEL	MARK	HEIGHT	WIDTH	HEAD	STYLE	CONFIGURATION	FRAME FINISH	REVEAL TYPE	GLASS FINISH	OTHERS	COMMENTS
FL 2	2.1	585	2435	1585	FIXED WINDOW	F - 500x2418	POWDERCOATED ALUMINIUM	STANDARD	CLEAR		SIZE EXCLUDE REVEAL
FL 2	2.2	1780	610	3880	LOUVRE - TREND 'QUANTUM' - 130mm	QL1806/1	POWDERCOATED ALUMINIUM	STANDARD	CLEAR	WINDOW HEAD @2100mm	SIZE EXCLUDE REVEAL
FL 2	2.3	1780	610	3880	LOUVRE - TREND 'QUANTUM' - 130mm	QL1806/1	POWDERCOATED ALUMINIUM	STANDARD	CLEAR	WINDOW HEAD @2100mm	SIZE EXCLUDE REVEAL
EXISTING PLATE 3	2.4	1000	500		FIXED SKYLIGHT WINDOW	F-500X1000	POWDERCOATED ALUMINIUM	STANDARD	CLEAR		
EXISTING PLATE 3	2.5	1000	500		FIXED SKYLIGHT WINDOW	F-500X1000	POWDERCOATED ALUMINIUM	STANDARD	CLEAR		
EXISTING PLATE 3	2.6	600	600		FIXED SKYLIGHT WINDOW	F-600x600	POWDERCOATED ALUMINIUM	STANDARD	CLEAR		

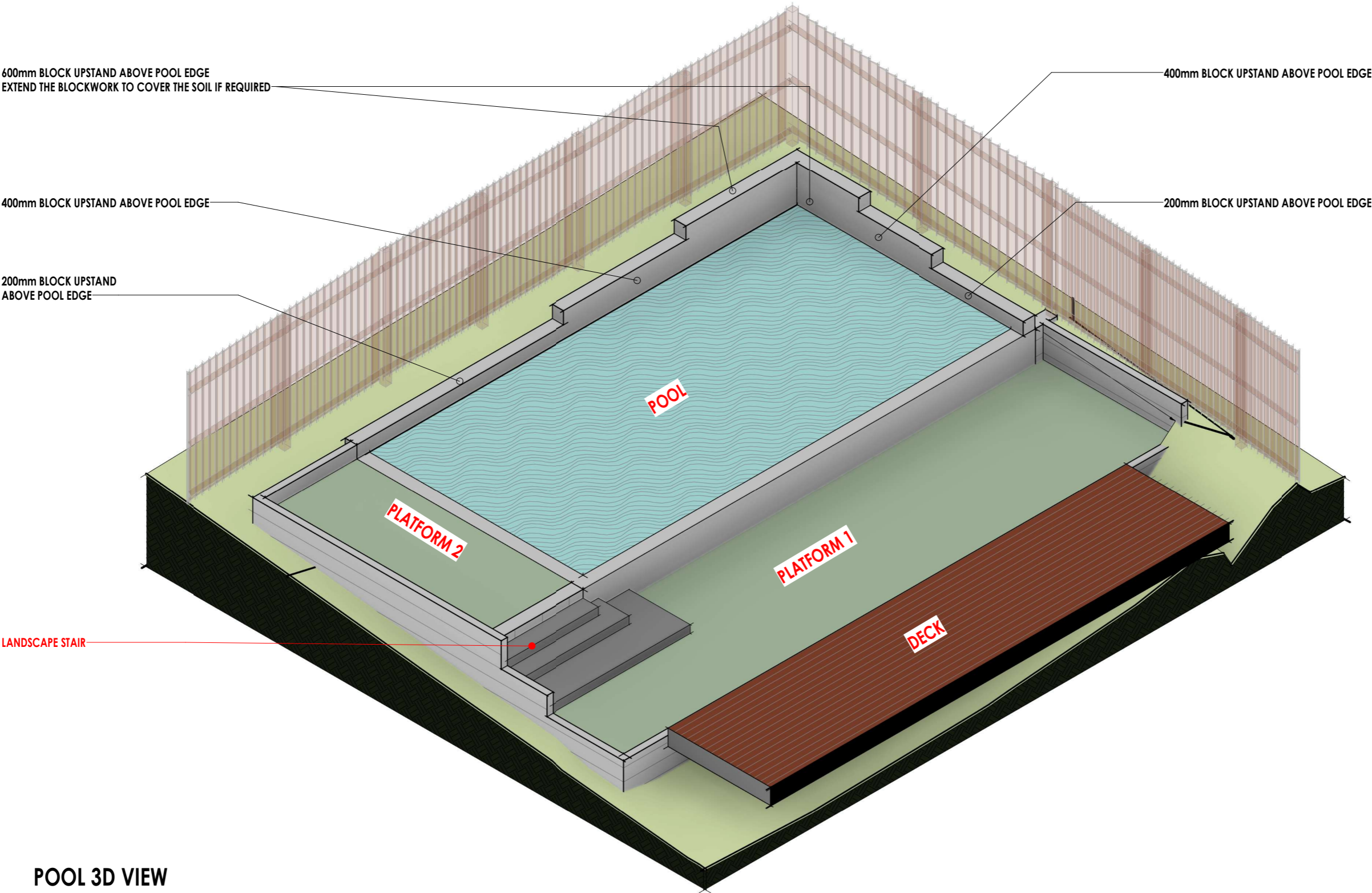
DOOR SCHEDULE											
LEVEL	MARK	HEIGHT	WIDTH	HEAD	STYLE	CONFIGURATION	FRAME FINISH	REVEAL TYPE	PANEL FINISH	FLYSCREENS/SECURITY SCREENS	COMMENTS
FL 2	2.1	2340	2900	2340	BIFOLD DOOR - TREND 'QUANTUM' - 102mm	2400x2960 5 PANEL	POWDERCOATED ALUMINIUM	STANDARD	CLEAR		SIZE EXCLUDE REVEAL
FL 2	2.2	2400	2410	2400	SLIDING DOOR -TREND 'SYNERGY' - 102mm	SXD2424	POWDERCOATED ALUMINIUM	STANDARD	CLEAR		SIZE EXCLUDE REVEAL
FL 2	2.3	2100	820	2100	INTERNAL SWING DOOR - SINGLE	2100x820	PAINTED TIMBER	STANDARD	PAINTED TIMBER		SIZE EXCLUDE REVEAL
FL 2	2.4	2100	720	2170	INTERNAL SWING DOOR - SINGLE	2100x720	PAINTED TIMBER	STANDARD	PAINTED TIMBER		SIZE EXCLUDE REVEAL
FL 2	2.5	2100	1240	2100	INTERNAL SWING DOOR- DOUBLE	2100x1440 (2x620)	PAINTED TIMBER	STANDARD	PAINTED TIMBER		SIZE EXCLUDE REVEAL
FL 2	2.6	2100	720	2170	INTERNAL SWING DOOR - SINGLE	2100x720	PAINTED TIMBER	STANDARD	PAINTED TIMBER		SIZE EXCLUDE REVEAL

SITE ISSUE

REFER TO ENERGY EFFICIENCY REPORT FOR ANY GLAZING REQUIREMENTS TO WINDOWS OR DOORS TO COMPLY WITH ENERGY EFFICIENCY REQUIREMENTS

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		M	DRAFTING AMENDMENT	21.06.2023	AM		500.20 DOOR & WINDOW SCHEDULE

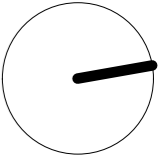


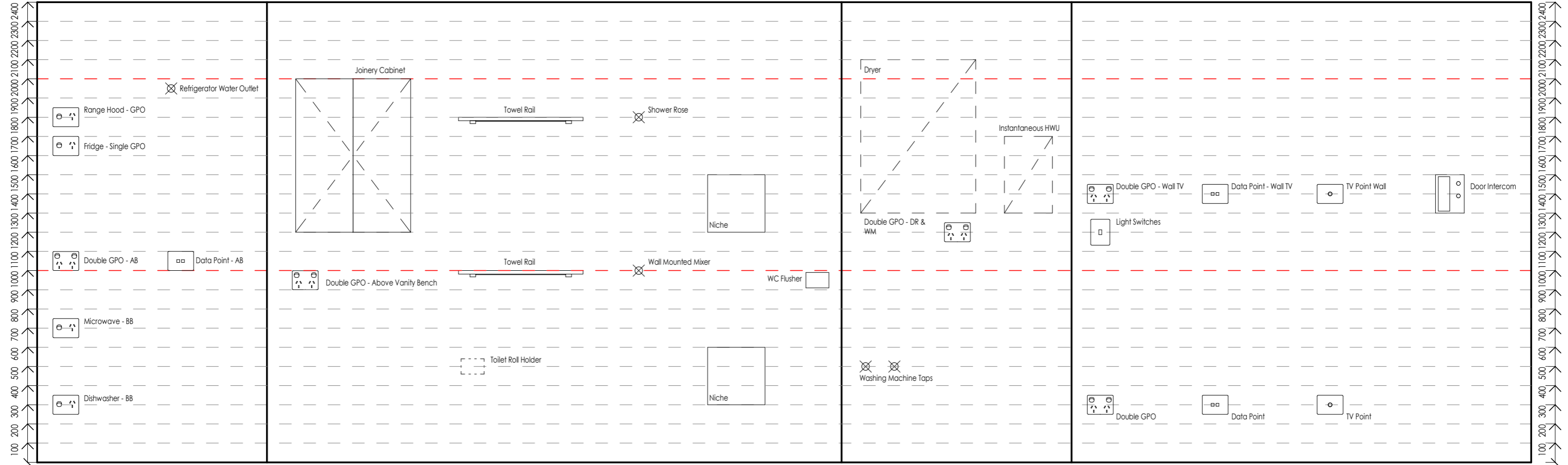


POOL 3D VIEW

SITE ISSUE

REV	DESCRIPTION	DATE	BY	RP DESCRIPTION	PROJECT DESCRIPTION
E	JOINERY FOR PRICING	23.11.2022	AM	LOT NO: /	'PROPOSED EXTENSION'
F	DRAFTING AMENDMENT	30.01.2023	AM	AREA: /m²	/ - /
G	KITCHEN AMENDMENT	31.01.2023	AM	PLAN NO: /	/
H	ELECTRICAL APPROVAL	06.02.2023	AM	WARD: ?	
I	SITE ISSUE	07.02.2023	AM	SUBURB /	SHEET NUMBER & NAME
J	SITE ISSUE	14.02.2023	AM	AUTHORITY: B.C.C	700.00 POOL DETAIL
K	SITE ISSUE	15.02.2023	AM		
L	CABINETRY EDIT	03.03.2023	AM		
M	DRAFTING AMENDMENT	21.06.2023	AM		





Kitchen

Ensuite & Bathroom

Laundry

Living / Dining / Bedroom / Entry

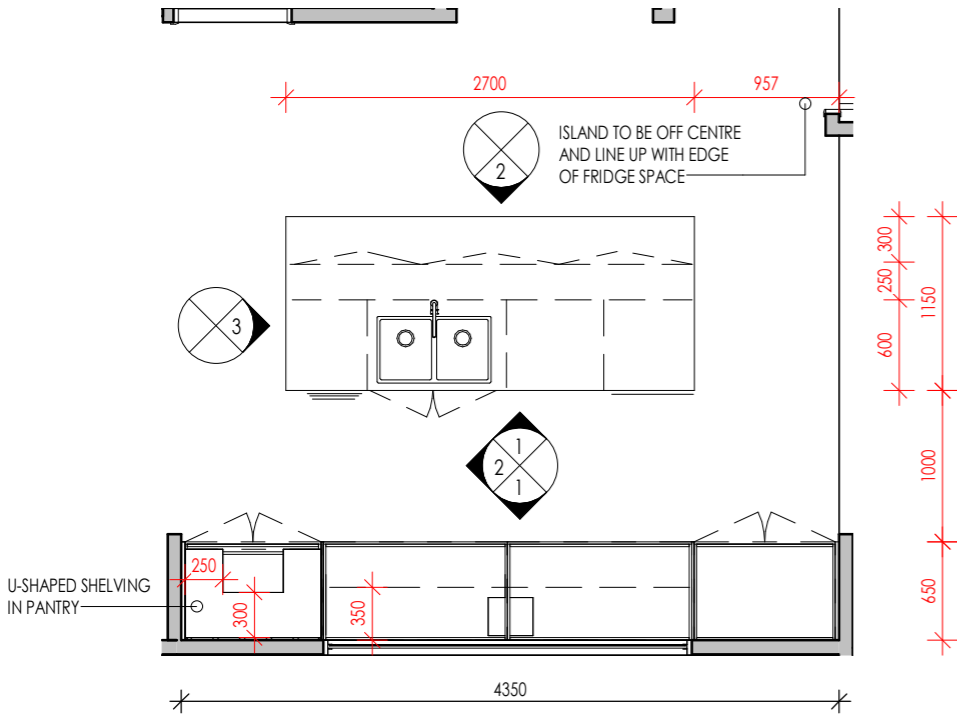


		<div><div>REV</div><div>E</div><div>F</div><div>G</div><div>H</div><div>I</div><div>J</div><div>K</div><div>L</div><div>M</div></div> <div><div>DESCRIPTION</div><div>JOINERY FOR PRICING</div><div>DRAFTING AMENDMENT</div><div>KITCHEN AMENDMENT</div><div>ELECTRICAL APPROVAL</div><div>SITE ISSUE</div><div>SITE ISSUE</div><div>SITE ISSUE</div><div>CABINETRY EDIT</div><div>DRAFTING AMENDMENT</div></div> <div><div>DATE</div><div>23.11.2022</div><div>30.01.2023</div><div>31.01.2023</div><div>06.02.2023</div><div>07.02.2023</div><div>14.02.2023</div><div>15.02.2023</div><div>03.03.2023</div><div>21.06.2023</div></div> <div><div>BY</div><div>AM</div><div>AM</div><div>AM</div><div>AM</div><div>AM</div><div>AM</div><div>AM</div><div>AM</div><div>AM</div></div>	<div><div>RP DESCRIPTION</div><div>LOT NO: /</div><div>AREA: /m²</div><div>PLAN NO: /</div><div>WARD: ?</div><div>SUBURB /</div><div>AUTHORITY: B.C.C</div></div>	<div><div>PROJECT DESCRIPTION</div><div>'PROPOSED EXTENSION'</div><div>/ - /</div><div>/</div><div>SHEET NUMBER & NAME</div><div>800.00 MOUNTING HEIGHTS (GUIDE ONLY)</div></div>	<div><div></div></div>
--	--	---	---	---	------------------------

- PLUMBING AND ELECTRICAL MEASUREMENTS TAKEN FROM FRAME
- CABINETRY MEASUREMENTS TAKEN FROM FINISHED WALL
- HEIGHT MEASUREMENTS FROM FINISHED FLOOR LEVEL
- PLASTER BULKHEADS TO FINISH APPROX 3MM FROWARD OF FINISHED CABINETRY DEPTH
- NICHES TO BE OVERSIZED 50MM ALL AROUND TO ALLOW FOR TILING

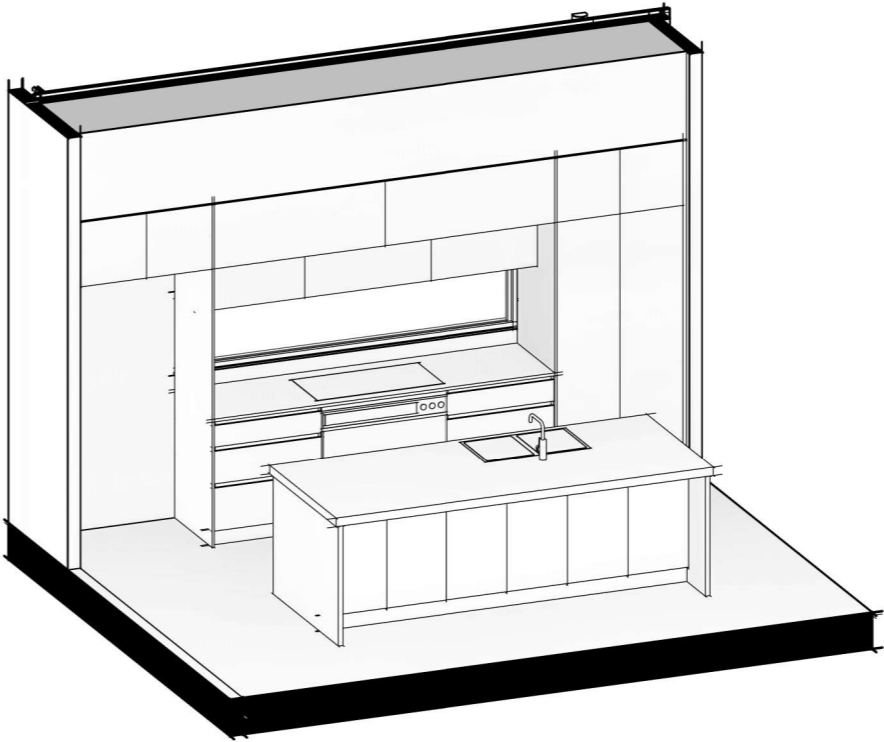
KITCHEN LEGEND

- FP FINGER PULL
- BT BENCH TOP
- DW DISH WASHER
- CT COOKTOP
- MW MICROWAVE
- OHC OVERHEAD CUPBOARDS
- OV OVEN
- PAN PANTRY
- REF REFRIGERATOR
- RH RANGEHOOD
- SHV SHELVES
- SK KITCHEN SINK
- CT COOK TOP
- WF WINE REFRIGERATOR
- ADJ ADJUSTABLE SHELVING



KITCHEN DETAIL PLAN

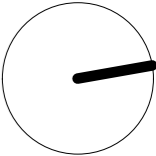
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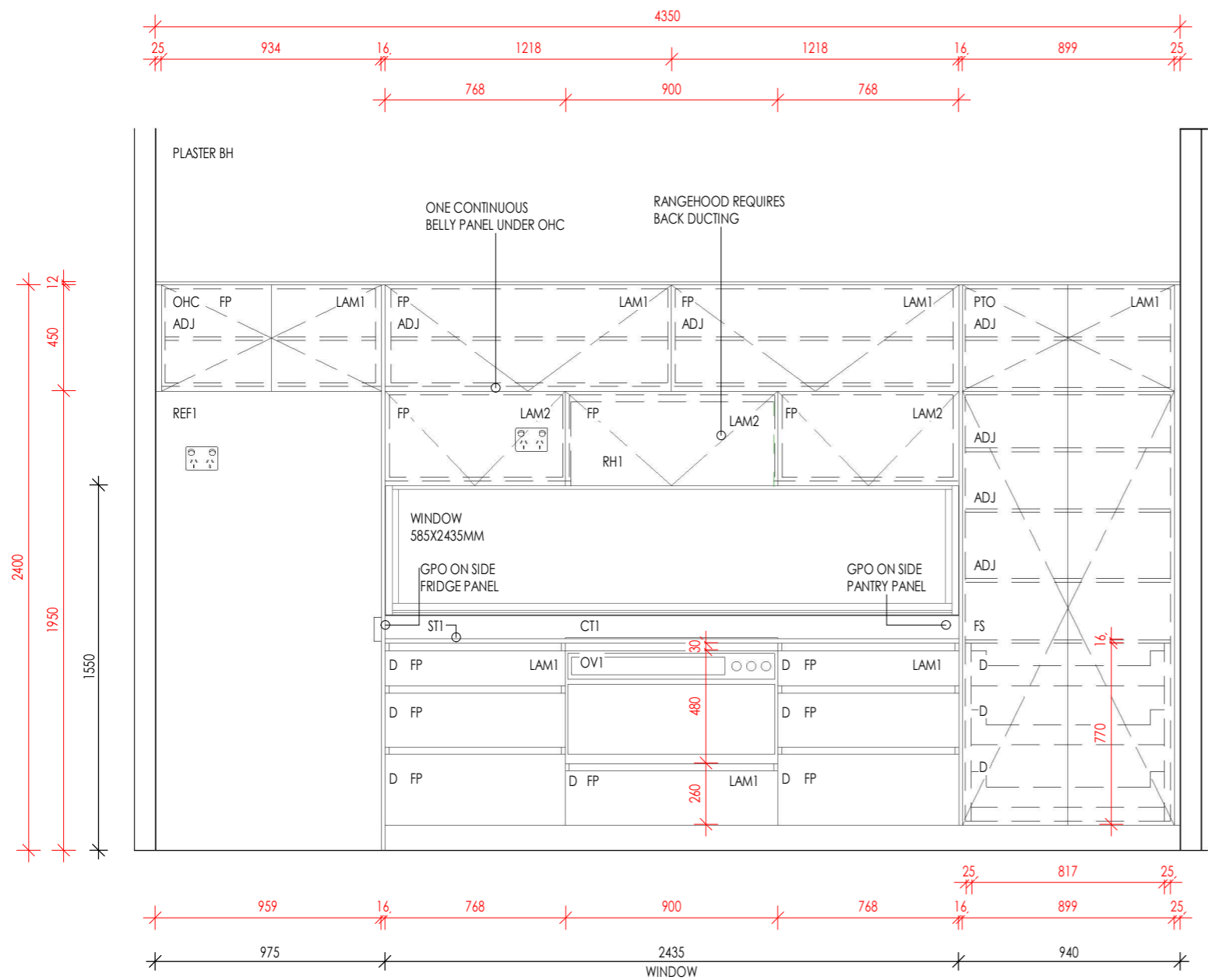
KITCHEN - 3D VIEW

SITE ISSUE

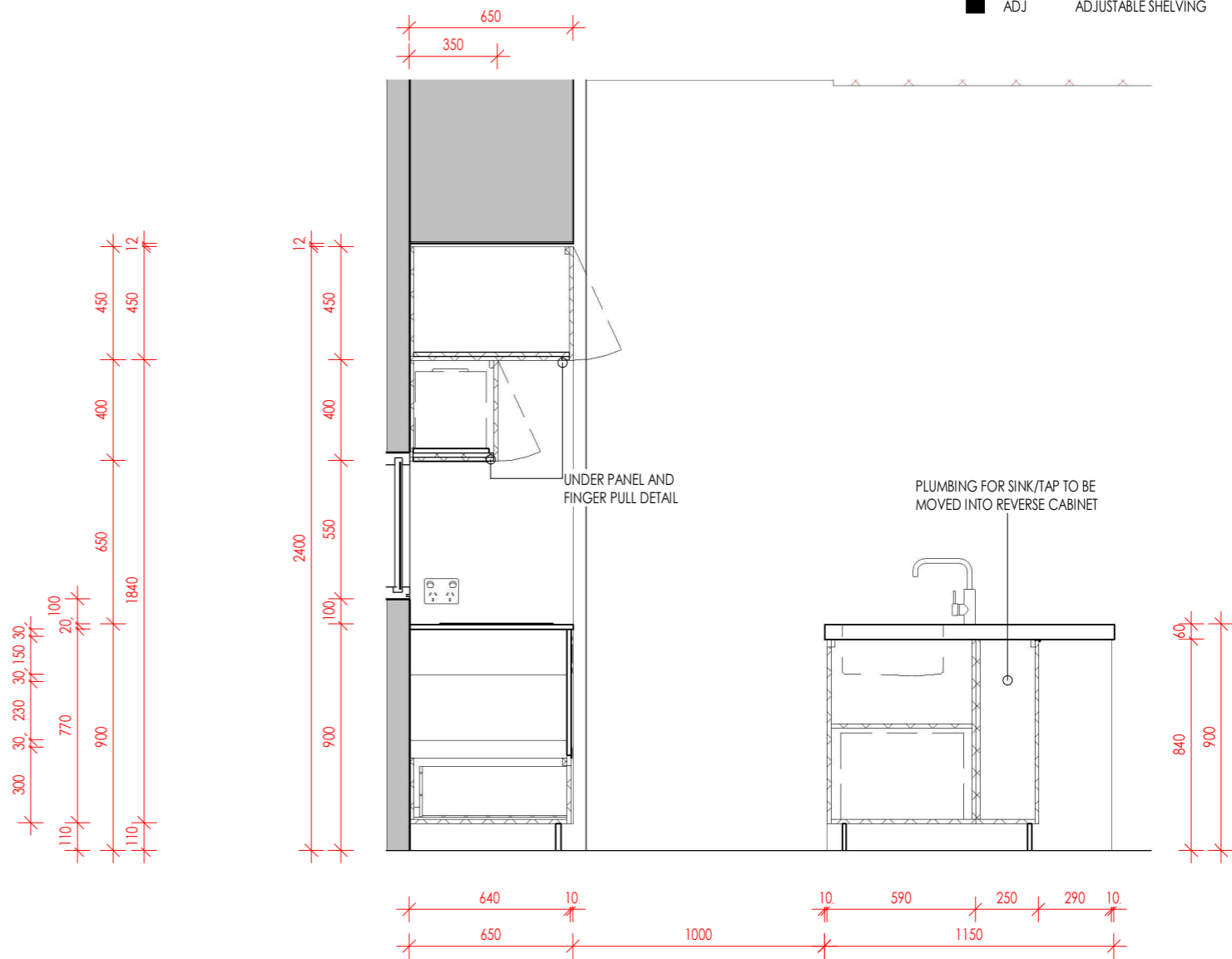
REV	DESCRIPTION	DATE	BY	RP DESCRIPTION	PROJECT DESCRIPTION
E	JOINERY FOR PRICING	23.11.2022	AM	LOT NO: /	'PROPOSED EXTENSION'
F	DRAFTING AMENDMENT	30.01.2023	AM	AREA: /m²	/ - /
G	KITCHEN AMENDMENT	31.01.2023	AM	PLAN NO: /	/
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J	SITE ISSUE	14.02.2023	AM	AUTHORITY: B.C.C	
K	SITE ISSUE	15.02.2023	AM		
L	CABINETRY EDIT	03.03.2023	AM		
M	DRAFTING AMENDMENT	21.06.2023	AM		



FP	FINGER PULL
BT	BENCH TOP
DW	DISH WASHER
CT	COOKTOP
MW	MICROWAVE
OHC	OVERHEAD CUPBOARDS
OV	OVEN
PAN	PANTRY
REF	REFRIGERATOR
RH	RANGEHOOD
SHV	SHELVES
SK	KITCHEN SINK
CT	COOK TOP
WF	WINE REFRIGERATOR
ADJ	ADJUSTABLE SHELVING




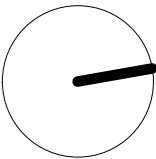
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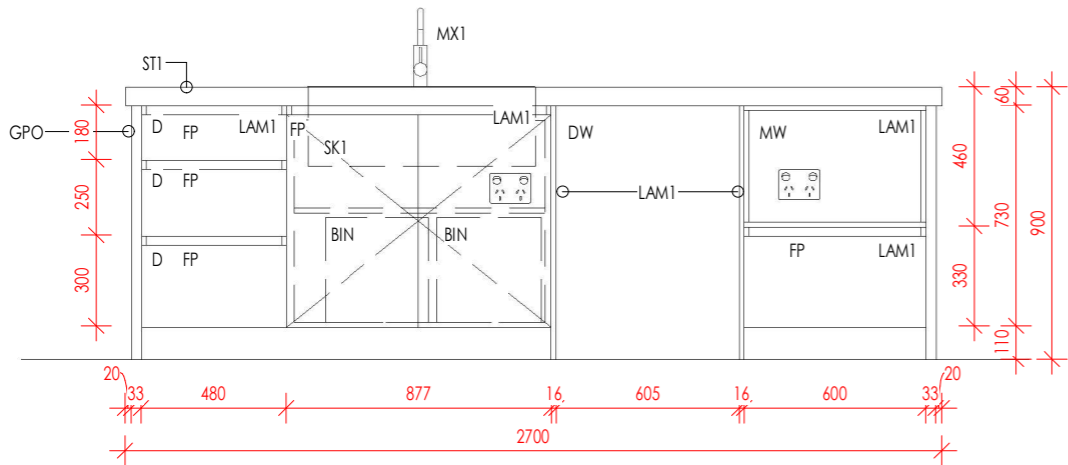


1 : 25

SITE ISSUE

		REV	DESCRIPTION	DATE	BY	RP DESCRIPTION	PROJECT DESCRIPTION	
		E	JOINERY FOR PRICING	23.11.2022	AM	LOT NO: /	'PROPOSED EXTENSION'	
		F	DRAFTING AMENDMENT	30.01.2023	AM	AREA: /m²	/ - /	
		G	KITCHEN AMENDMENT	31.01.2023	AM	PLAN NO: /	/	
		H	ELECTRICAL APPROVAL	06.02.2023	AM	WARD: ?		
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		J	SITE ISSUE	14.02.2023	AM	AUTHORITY: B.C.C		
		K	SITE ISSUE	15.02.2023	AM		SHEET NUMBER & NAME	
		L	CABINETRY EDIT	03.03.2023	AM		800.11 KITCHEN DETAIL A	
		M	DRAFTING AMENDMENT	21.06.2023	AM			





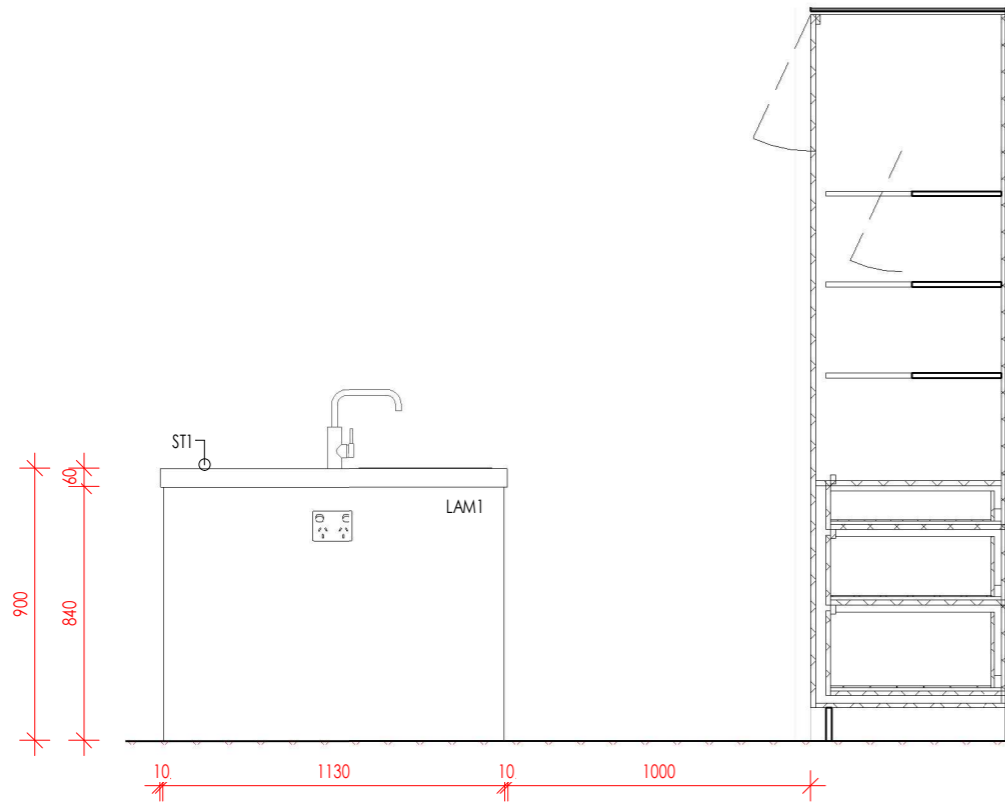
KITCHEN BIN EXAMPLE



- PLUMBING AND ELECTRICAL MEASUREMENTS TAKEN FROM FRAME
- CABINETRY MEASUREMENTS TAKEN FROM FINISHED WALL
- HEIGHT MEASUREMENTS FROM FINISHED FLOOR LEVEL
- PLASTER BULKHEADS TO FINISH APPROX 3MM FROWARD OF FINISHED CABINETRY DEPTH
- NICHES TO BE OVERSIZED 50MM ALL AROUND TO ALLOW FOR TILING

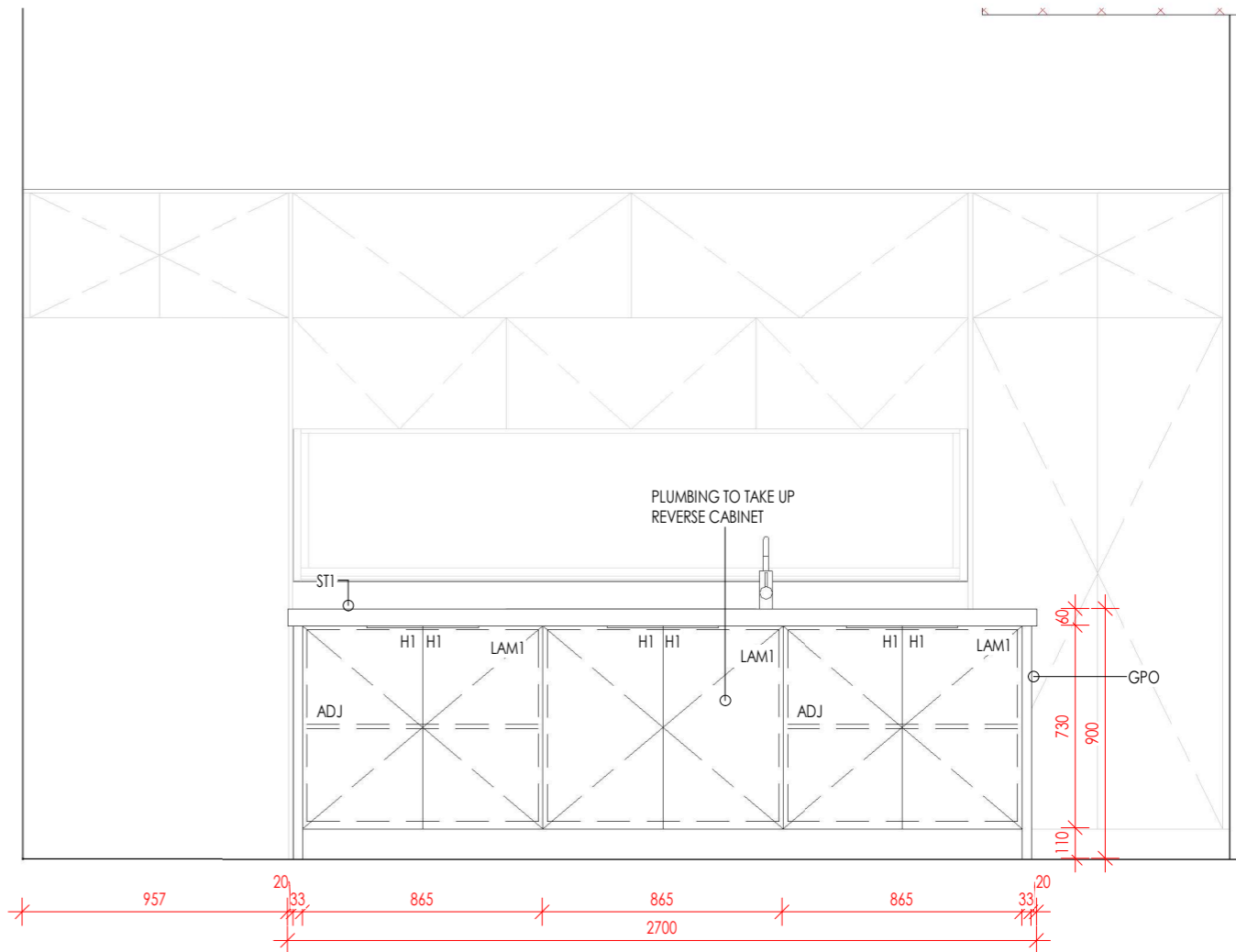
KITCHEN - ELEVATION C

1 : 25



KITCHEN - ELEVATION D

1 : 25

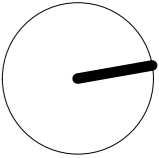


KITCHEN - ELEVATION E

1 : 25

SITE ISSUE

REV	DESCRIPTION	DATE	BY	RP DESCRIPTION	PROJECT DESCRIPTION
E	JOINERY FOR PRICING	23.11.2022	AM	LOT NO: /	'PROPOSED EXTENSION'
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I	SITE ISSUE	07.02.2023	AM	SUBURB /	
J	SITE ISSUE	14.02.2023	AM	AUTHORITY: B.C.C	
K	SITE ISSUE	15.02.2023	AM		
L	CABINETRY EDIT	03.03.2023	AM		
M	DRAFTING AMENDMENT	21.06.2023	AM		

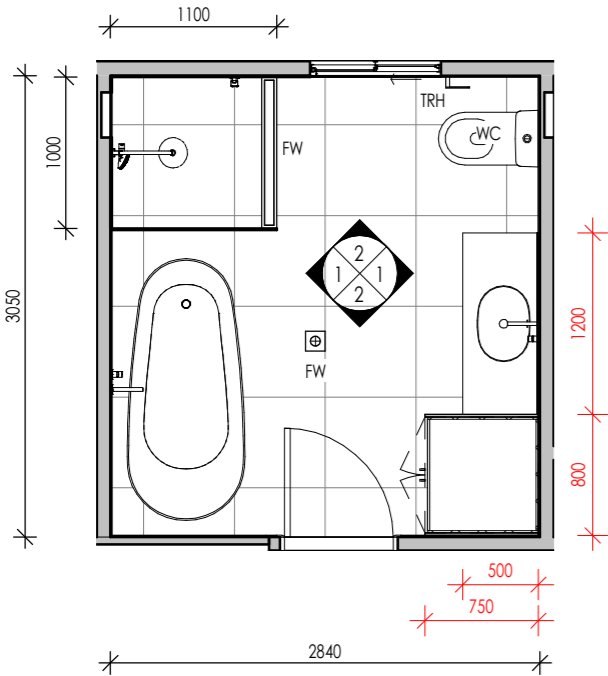


- PLUMBING AND ELECTRICAL MEASUREMENTS TAKEN FROM FRAME
- CABINETRY MEASUREMENTS TAKEN FROM FINISHED WALL
- HEIGHT MEASUREMENTS FROM FINISHED FLOOR LEVEL
- PLASTER BULKHEADS TO FINISH APPROX 3MM FORWARD OF FINISHED CABINETRY DEPTH
- NICHES TO BE OVERSIZED 50MM ALL AROUND TO ALLOW FOR TILING

INTERNAL WET AREAS
ALL WET AREAS TO COMPLY WITH NCC 3.8.1.2 & AS 3740 - 2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS

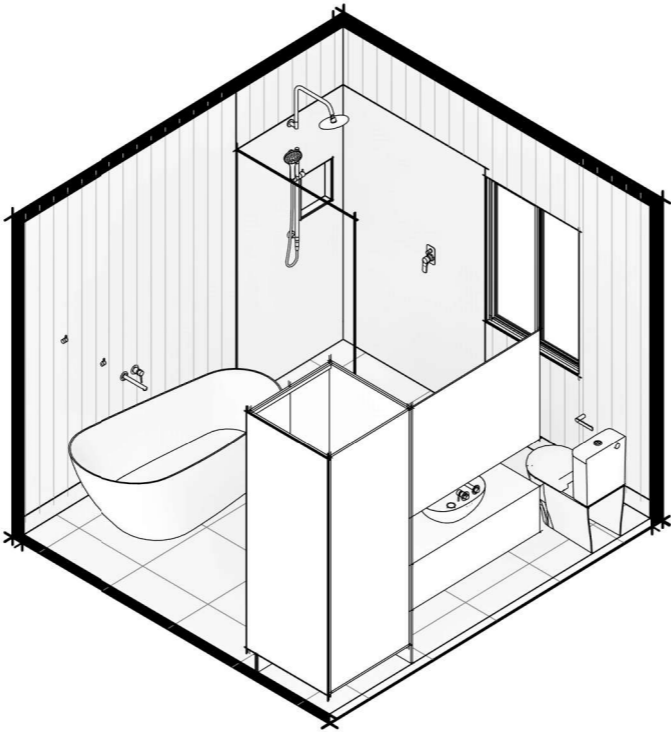
WET AREA LEGEND

- B BIDET
- BATH BATHTUB
- BT BENCH TOP
- BRM BROOM CABINET
- FW FLOOR WASTE
- GD GRATE DRAIN
- BA BASIN
- HTR HAND TOWEL RAIL
- MIRR MIRROR
- MX MIXER
- OHC OVERHEAD CUPBOARDS
- RWH RAINWATER SHOWER HEAD
- SB SPLASHBACK
- SHR SHOWER ROSE
- SHV SHELVES
- SS SHOWER SCREEN
- TH TOWEL HOOK
- TR TOWEL RAIL
- TRH TOILET ROLL HOLDER
- VA VANITY
- WC WATER CLOSET

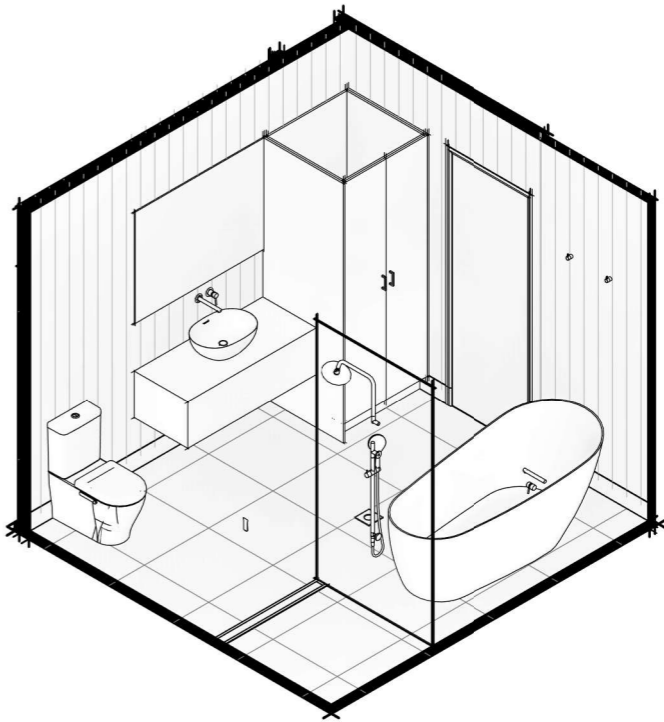


BATHROOM 1 DETAIL PLAN

1 : 50



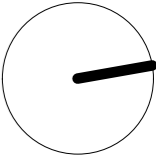
BATHROOM - 3D VIEW



BATHROOM - 3D VIEW B

SITE ISSUE

REV	DESCRIPTION	DATE	BY	RP DESCRIPTION	PROJECT DESCRIPTION
E	JOINERY FOR PRICING	23.11.2022	AM	LOT NO: /	'PROPOSED EXTENSION'
F	DRAFTING AMENDMENT	30.01.2023	AM	AREA: /m²	/ - /
G	KITCHEN AMENDMENT	31.01.2023	AM	PLAN NO: /	/
H	ELECTRICAL APPROVAL	06.02.2023	AM	WARD: ?	
I	SITE ISSUE	07.02.2023	AM	SUBURB /	
J	SITE ISSUE	14.02.2023	AM	AUTHORITY: B.C.C	
K	SITE ISSUE	15.02.2023	AM		
L	CABINETRY EDIT	03.03.2023	AM		
M	DRAFTING AMENDMENT	21.06.2023	AM		



- PLUMBING AND ELECTRICAL MEASUREMENTS
TAKEN FROM FRAME
- CABINETRY MEASUREMENTS TAKEN FROM
FINISHED WALL
- HEIGHT MEASUREMENTS FROM FINISHED FLOOR LEVEL
- PLASTER BULKHEADS TO FINISH APPROX 3MM FORWARD OF FINISHED CABINETRY DEPTH
- NICHES TO BE OVERSIZED 50MM ALL AROUND TO ALLOW FOR TILING

WET AREA LEGEND

- B
- BIDET
- BATH
- BATHTUB
- BT
- BENCH TOP
- BRM
- BROOM CABINET
- FW
- FLOOR WASTE
- GD
- GRATE DRAIN
- BA
- BASIN
- HTR
- HAND TOWEL RAIL
- MIRR
- MIRROR
- MX
- MIXER
- OHC
- OVERHEAD CUPBOARDS
- RWH
- RAINWATER SHOWER HEAD
- SB
- SPLASHBACK
- SHR
- SHOWER ROSE
- SHV
- SHELVES
- SS
- SHOWER SCREEN
- TH
- TOWEL HOOK
- TR
- TOWEL RAIL
- TRH
- TOILET ROLL HOLDER
- VA
- VANITY
- WC
- WATER CLOSET

BATHROOM - ELEVATION A

1 : 25

BATHROOM - ELEVATION B

1 : 25

SITE ISSUE

REV	DESCRIPTION	DATE	BY	RP DESCRIPTION	PROJECT DESCRIPTION
E	JOINERY FOR PRICING	23.11.2022	AM	LOT NO: /	'PROPOSED EXTENSION'
F	DRAFTING AMENDMENT	30.01.2023	AM	AREA: /m²	/ - /
G	KITCHEN AMENDMENT	31.01.2023	AM	PLAN NO: /	/
H	ELECTRICAL APPROVAL	06.02.2023	AM	WARD: ?	
I	SITE ISSUE	07.02.2023	AM	SUBURB /	
J	SITE ISSUE	14.02.2023	AM	AUTHORITY: B.C.C	
K	SITE ISSUE	15.02.2023	AM		
L	CABINETRY EDIT	03.03.2023	AM		
M	DRAFTING AMENDMENT	21.06.2023	AM		

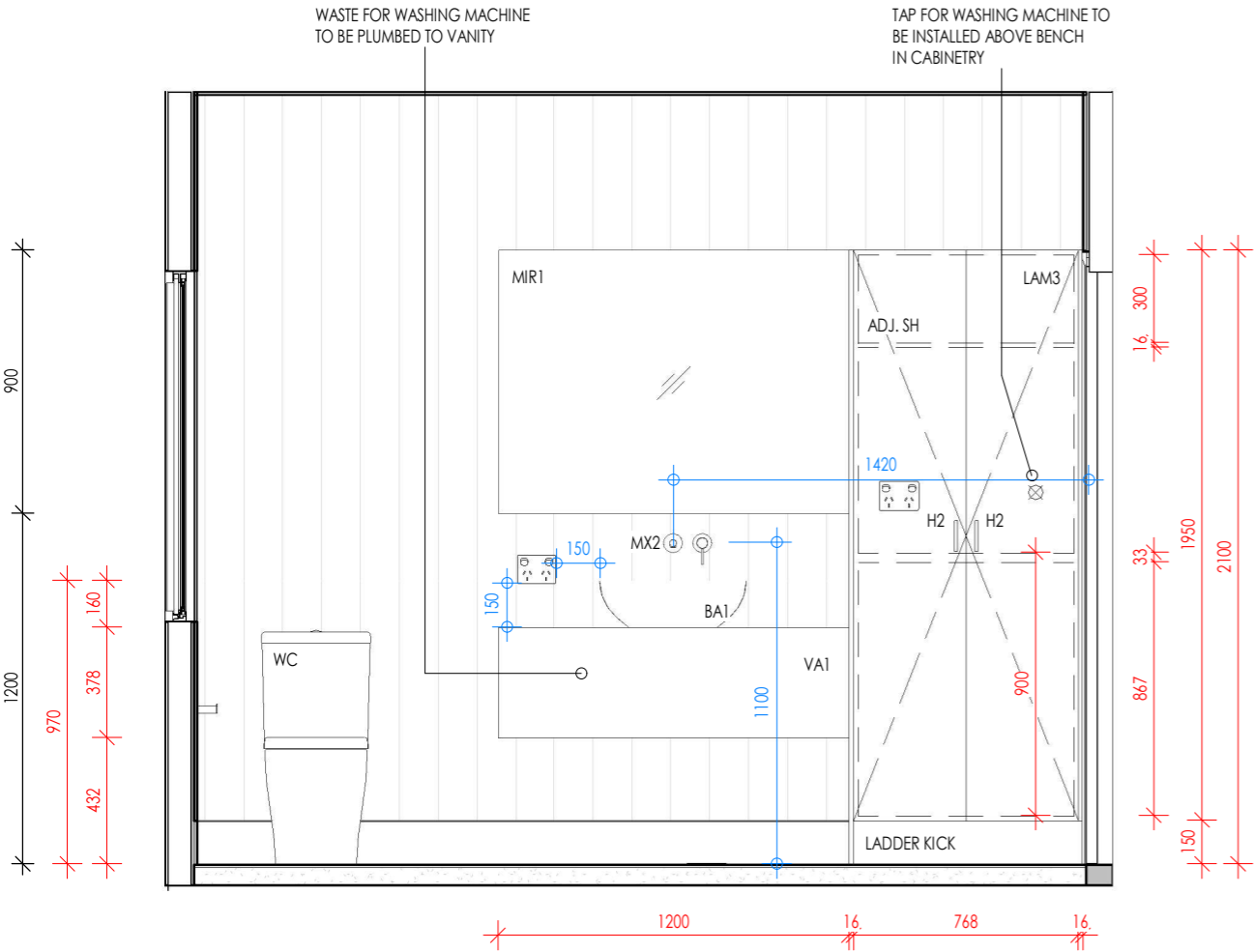
SHEET NUMBER & NAME

800.41 BATHROOM DETAIL A

- PLUMBING AND ELECTRICAL MEASUREMENTS TAKEN FROM FRAME
- CABINTRY MEASUREMENTS TAKEN FROM FINISHED WALL
- HEIGHT MEASUREMENTS FROM FINISHED FLOOR LEVEL
- PLASTER BULKHEADS TO FINISH APPROX 3MM FORWARD OF FINISHED CABINTRY DEPTH
- NICHES TO BE OVERSIZED 50MM ALL AROUND TO ALLOW FOR TILING

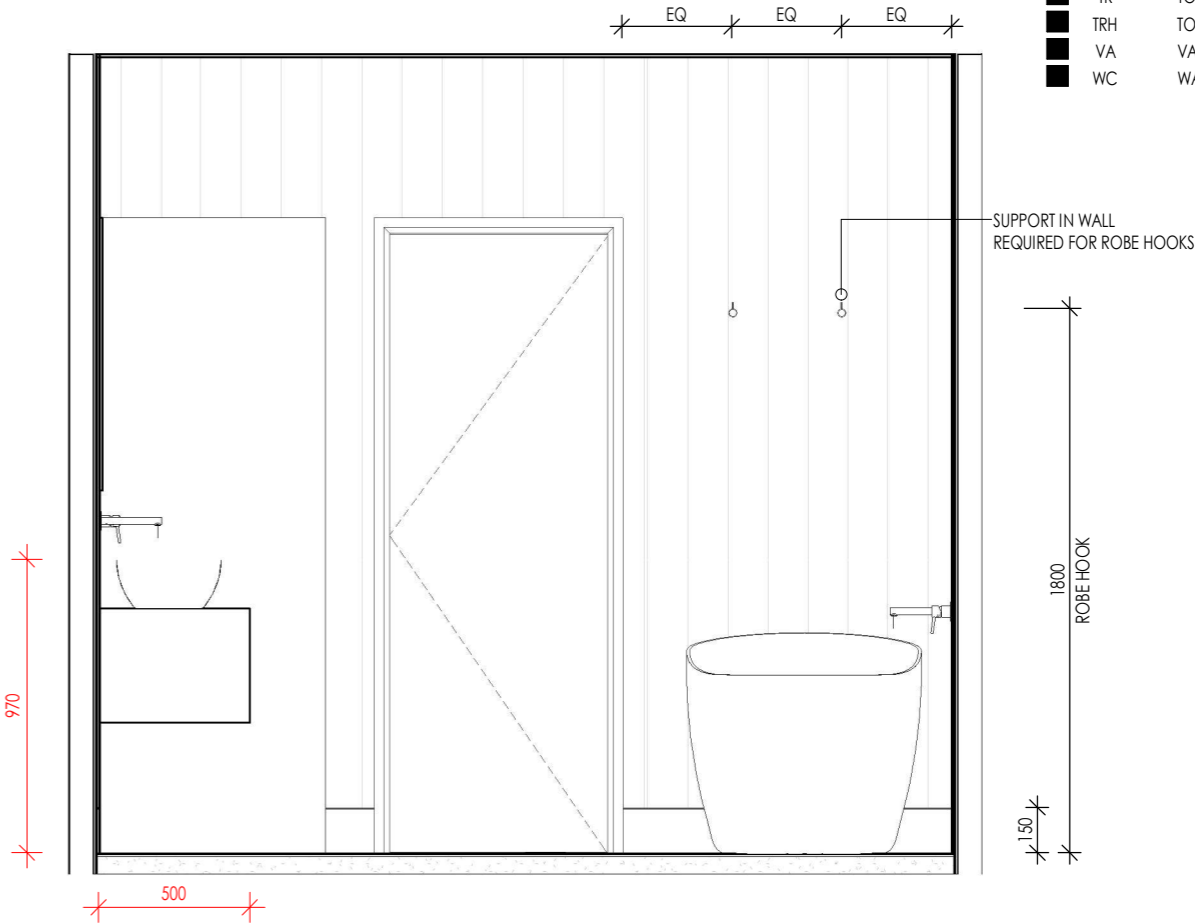
WET AREA LEGEND

- B BIDET
- BATH BATHTUB
- BT BENCH TOP
- BRM BROOM CABINET
- FW FLOOR WASTE
- GD GRATE DRAIN
- BA BASIN
- HTR HAND TOWEL RAIL
- MIRR MIRROR
- MX MIXER
- OHC OVERHEAD CUPBOARDS
- RWH RAINWATER SHOWER HEAD
- SB SPLASHBACK
- SHR SHOWER ROSE
- SHV SHELVES
- SS SHOWER SCREEN
- TH TOWEL HOOK
- TR TOWEL RAIL
- TRH TOILET ROLL HOLDER
- VA VANITY
- WC WATER CLOSET



BATHROOM - ELEVATION C

1 : 25



BATHROOM - ELEVATION D

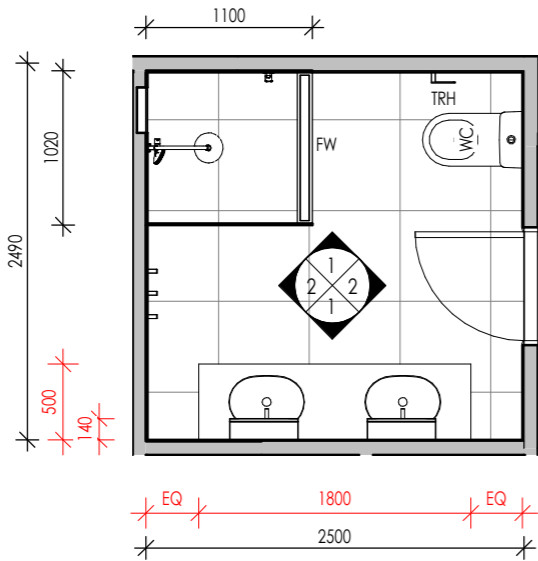
1 : 25

SITE ISSUE

REV	DESCRIPTION	DATE	BY	RP DESCRIPTION	PROJECT DESCRIPTION
E	JOINERY FOR PRICING	23.11.2022	AM	LOT NO: /	'PROPOSED EXTENSION'
F	DRAFTING AMENDMENT	30.01.2023	AM	AREA: /m²	/ - /
G	KITCHEN AMENDMENT	31.01.2023	AM	PLAN NO: /	/
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I	SITE ISSUE	07.02.2023	AM	SUBURB /	
J	SITE ISSUE	14.02.2023	AM	AUTHORITY: B.C.C	
K	SITE ISSUE	15.02.2023	AM		
L	CABINTRY EDIT	03.03.2023	AM		
M	DRAFTING AMENDMENT	21.06.2023	AM		

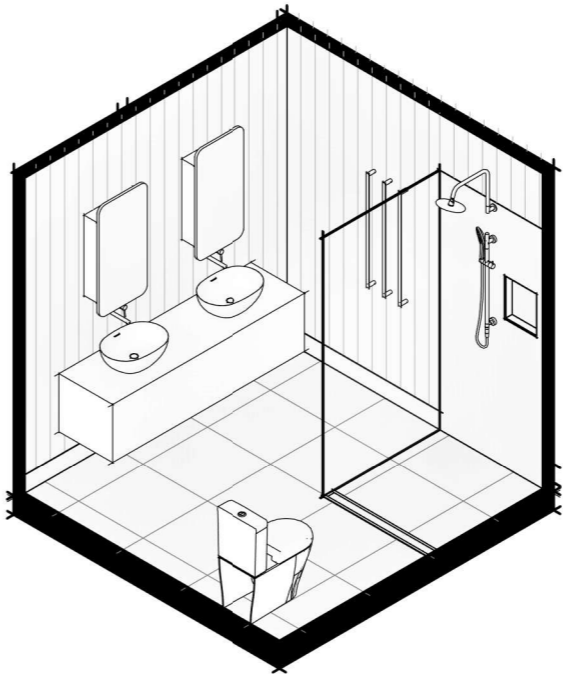
SHEET NUMBER & NAME
800.42 BATHROOM DETAIL B

- PLUMBING AND ELECTRICAL MEASUREMENTS TAKEN FROM FRAME
- CABINETRY MEASUREMENTS TAKEN FROM FINISHED WALL
- HEIGHT MEASUREMENTS FROM FINISHED FLOOR LEVEL
- PLASTER BULKHEADS TO FINISH APPROX 3MM FORWARD OF FINISHED CABINETRY DEPTH
- NICHES TO BE OVERSIZED 50MM ALL AROUND TO ALLOW FOR TILING



ENSUITE 1 DETAIL PLAN

1 : 50



ENSUITE - 3D VIEW

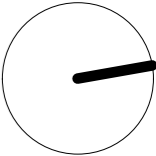
WET AREA LEGEND

B	BIDET
BATH	BATHTUB
BT	BENCH TOP
BRM	BROOM CABINET
FW	FLOOR WASTE
GD	GRATE DRAIN
BA	BASIN
HTR	HAND TOWEL RAIL
MIRR	MIRROR
MX	MIXER
OHC	OVERHEAD CUPBOARDS
RWH	RAINWATER SHOWER HEAD
SB	SPLASHBACK
SHR	SHOWER ROSE
SHV	SHELVES
SS	SHOWER SCREEN
TH	TOWEL HOOK
TR	TOWEL RAIL
TRH	TOILET ROLL HOLDER
VA	VANITY
WC	WATER CLOSET

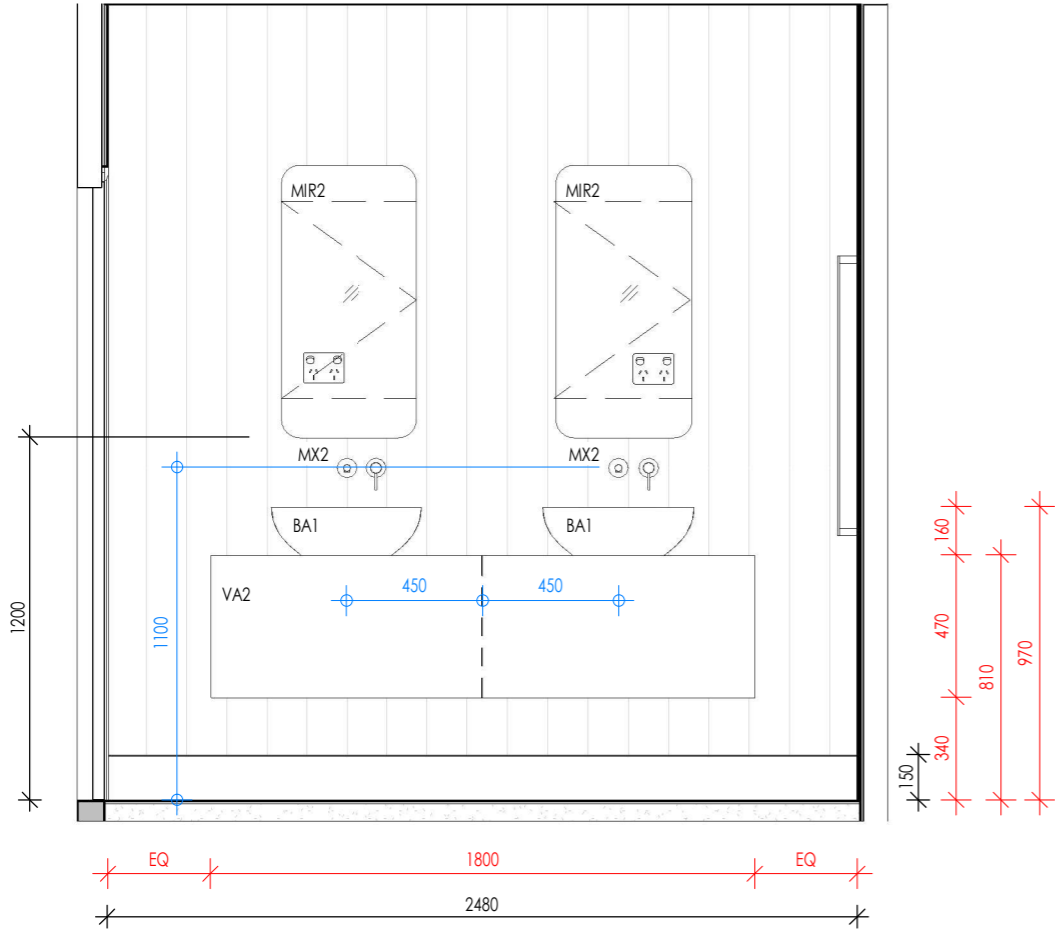
INTERNAL WET AREAS
ALL WET AREAS TO COMPLY WITH NCC 3.8.1.2 & AS 3740 - 2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS

SITE ISSUE

REV	DESCRIPTION	DATE	BY	RP DESCRIPTION	PROJECT DESCRIPTION
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F	DRAFTING AMENDMENT	30.01.2023	AM	AREA: /m²	/ - /
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L	CABINETRY EDIT	03.03.2023	AM		
M	DRAFTING AMENDMENT	21.06.2023	AM		

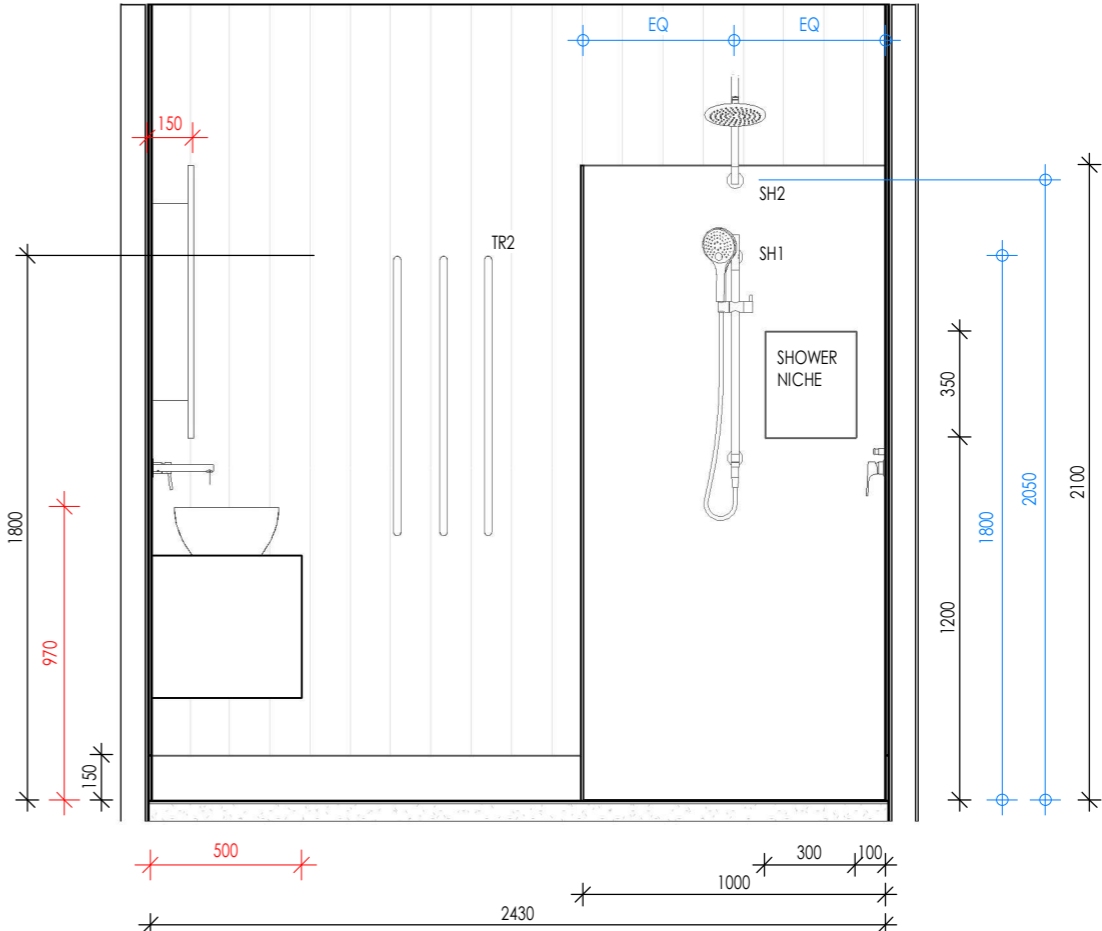


- PLUMBING AND ELECTRICAL MEASUREMENTS TAKEN FROM FRAME
- CABINETRY MEASUREMENTS TAKEN FROM FINISHED WALL
- HEIGHT MEASUREMENTS FROM FINISHED FLOOR LEVEL
- PLASTER BULKHEADS TO FINISH APPROX 3MM FORWARD OF FINISHED CABINETRY DEPTH
- NICHES TO BE OVERSIZED 50MM ALL AROUND TO ALLOW FOR TILING



ENSUITE - ELEVATION A

1 : 25



ENSUITE - ELEVATION B

1 : 25

WET AREA LEGEND

- B BIDET
- BATH BATHTUB
- BT BENCH TOP
- BRM BROOM CABINET
- FW FLOOR WASTE
- GD GRATE DRAIN
- BA BASIN
- HTR HAND TOWEL RAIL
- MIRR MIRROR
- MX MIXER
- OHC OVERHEAD CUPBOARDS
- RWH RAINWATER SHOWER HEAD
- SB SPLASHBACK
- SHR SHOWER ROSE
- SHV SHELVES
- SS SHOWER SCREEN
- TH TOWEL HOOK
- TR TOWEL RAIL
- TRH TOILET ROLL HOLDER
- VA VANITY
- WC WATER CLOSET

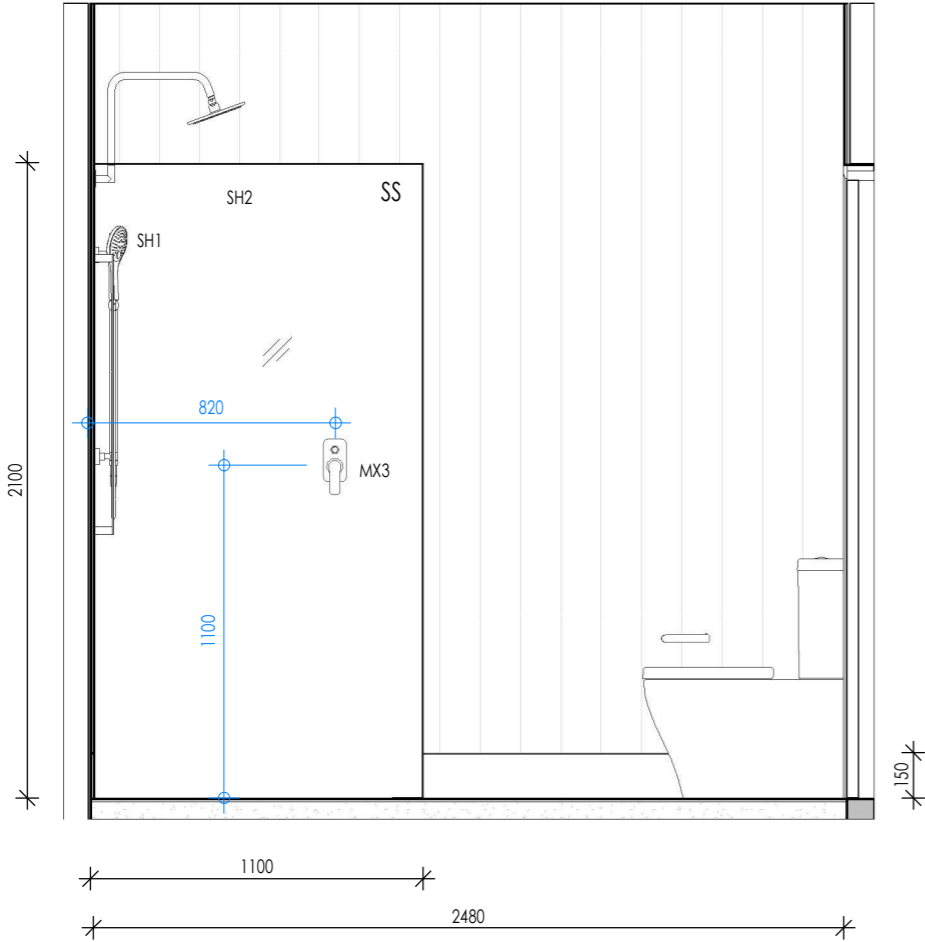
INTERNAL WET AREAS
ALL WET AREAS TO COMPLY WITH NCC 3.8.1.2 & AS 3740 - 2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS

SITE ISSUE

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K	SITE ISSUE	15.02.2023	AM		
L	CABINETRY EDIT	03.03.2023	AM		
M	DRAFTING AMENDMENT	21.06.2023	AM		

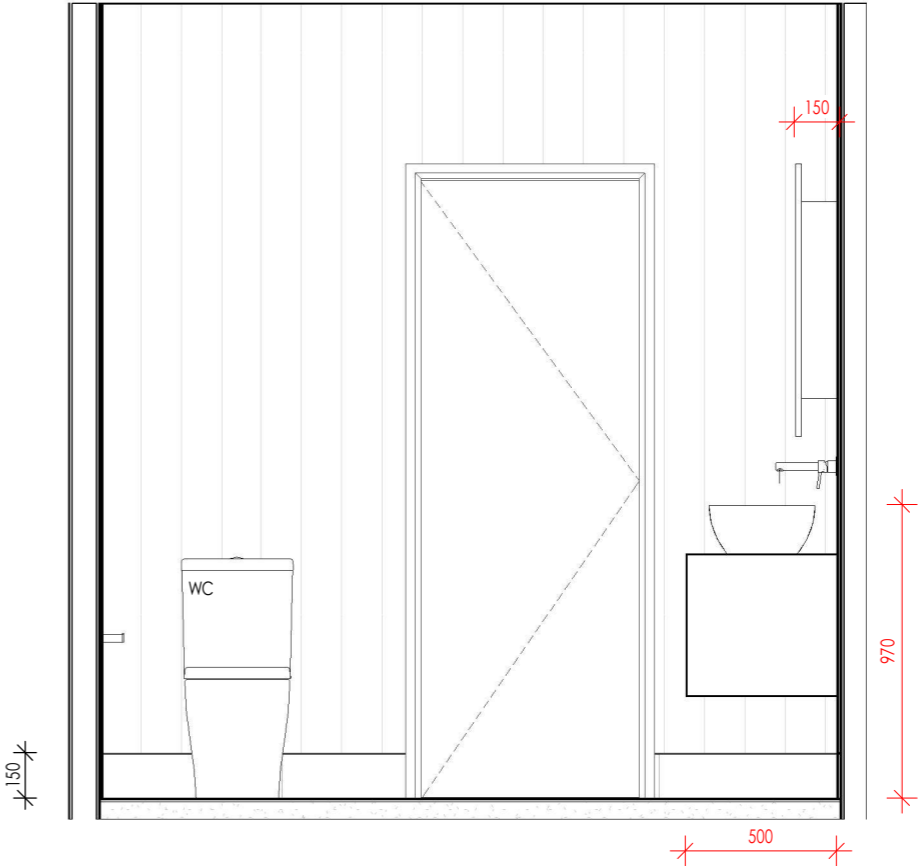
SHEET NUMBER & NAME
800.51 ENSUITE DETAIL A

- PLUMBING AND ELECTRICAL MEASUREMENTS TAKEN FROM FRAME
- CABINERY MEASUREMENTS TAKEN FROM FINISHED WALL
- HEIGHT MEASUREMENTS FROM FINISHED FLOOR LEVEL
- PLASTER BULKHEADS TO FINISH APPROX 3MM FORWARD OF FINISHED CABINERY DEPTH
- NICHES TO BE OVERSIZED 50MM ALL AROUND TO ALLOW FOR TILING



ENSUITE - ELEVATION C

1 : 25



ENSUITE - ELEVATION D

1 : 25

WET AREA LEGEND

- B BIDET
- BATH BATHTUB
- BT BENCH TOP
- BRM BROOM CABINET
- FW FLOOR WASTE
- GD GRATE DRAIN
- BA BASIN
- HTR HAND TOWEL RAIL
- MIRR MIRROR
- MX MIXER
- OHC OVERHEAD CUPBOARDS
- RWH RAINWATER SHOWER HEAD
- SB SPLASHBACK
- SHR SHOWER ROSE
- SHV SHELVES
- SS SHOWER SCREEN
- TH TOWEL HOOK
- TR TOWEL RAIL
- TRH TOILET ROLL HOLDER
- VA VANITY
- WC WATER CLOSET

SITE ISSUE

REV	DESCRIPTION	DATE	BY	RP DESCRIPTION	PROJECT DESCRIPTION
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I	SITE ISSUE	07.02.2023	AM	SUBURB /	
J	SITE ISSUE	14.02.2023	AM	AUTHORITY: B.C.C	
K	SITE ISSUE	15.02.2023	AM		
L	CABINERY EDIT	03.03.2023	AM		
M	DRAFTING AMENDMENT	21.06.2023	AM		

