



GENERAL NOTES:
DO NOT SCALE PLANS, USE WRITTEN DIMENSIONS ONLY.
ALL WORKS SHALL COMPLY WITH, BUT NOT BE LIMITED TO THE BUILDING CODE OF AUSTRALIA & THE AUSTRALIAN STANDARDS:
AS 1288 - 2006 GLASS IN BUILDINGS - SELECTION AND INSTALLATION
AS 1562 - 1992 DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING
AS 1684 - 2010 NATIONAL TIMBER FRAMING CODE
AS 2049 - 2002 ROOF TILES
AS 2050 - 2002 INSTALLATION OF ROOF TILES
AS 2870 - 2011 RESIDENTIAL SLAB AND FOOTINGS - CONSTRUCTION
AS/NZS 2904 - 1995 DAMP-PROOF COURSES & FLASHINGS
AS 3600 - 2009 CONCRETE STRUCTURES
AS 3660 - 2012 BARRIERS FOR SUBTERRANEAN TERMITES AS 3700 - 2011 MASONRY IN BUILDINGS
AS 3740 - 2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
AS 3786 - 1993/2014 SMOKE ALARMS
AS 4055 - 2012 WIND LOADINGS FOR HOUSING
AS 4100 - 1998 STEEL STRUCTURES
AS 4654 - WATERPROOF MEMBRANES FOR EXTERNAL ABOVE GROUND USE
THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL & CIVIL ENGINEERING COMPUTIONS AND DRAWINGS. SOIL CLASSIFICATION - REFER TO STRUCTURAL ENGINEERS SOIL TEST.
ALL BUILDINGS SHALL BE PROTECTED AGAINST TERMITE ATTACK IN ACCORDANCE WITH AS 3660.1. ALL STRUCTURAL ELEMENTS AS DEFINED BY THE BUILDING CODE OF AUSTRALIA TO BE OF TERMITE RESISTING CONSTRUCTION. A DURABLE NOTICE SHALL BE PLACED IN THE METER BOX INDICATING TYPE OF BARRIER & REQUIRED PERIODICAL INSPECTIONS.
SAFETY GLAZING TO BE USED IN THE FOLLOWINGS CASES –
i) ALL ROOMS - WITHIN 500mm VERTICAL OF THE FLOOR
ii) BATHROOMS - WITHIN 1500mm VERTICAL OF THE BATH BASE
iii) FULLY GLAZED DOORS iv) SHOWER SCREENS
iv) WITHIN 300mm OF A DOOR & 1200mm ABOVE FLOOR LEVEL
v) WINDOW SIZES ARE NOMINAL ONLY, ACTUAL SIZES WILL VARY WITH MANUFACTURER, FLASHING ALL ROUND.

STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE AS DETERMINED BY THE RELEVANT AUTHORITY.
TILED DECKS OVER HABITABLE AREAS ARE TO BE, IN THE FOLLOWING ORDER WHEN OVER FLOOR JOISTS - 19mm COMPRESSED FIBRE CEMENT SHEET, WITH ONE LAYER OF PARCHEM EMERPROOF 750 WITH A SECOND LAYER OF SAND SEED WITH A DFT OF 1300 MICRON, INSTALLED TO MANUF. SPECIFICATIONS, & FLOOR TILES OVER, ALL CORNERS TO HAVE 20mm MASTIC SEALANT UNDER THE PARCHEM EMERPROOF 750. ALL WET AREAS TO COMPLY WITH NCC 3.8.1.2 AND AS 3740. SPLASH BACKS SHALL BE IMPERVIOUS FOR 150mm ABOVE SINKS, TUB & VANITY BASINS WITHIN 75mm OF THE WALL
STAIR REQUIREMENTS: MIN. TREAD 240mm, MIN. RISER 115mm, MAX. RISER 190mm, SPACE BETWEEN OPEN TREADS MAX. 125mm. TREADS TO BE NON SLIP SURFACE
BALUSTRADES: MIN. 1000mm ABOVE LANDINGS WITH MAX. OPENING OF 125mm AND IN ACCORDANCE WITH NCC 3.9.2. FOR STAINLESS STEEL BALUSTRADE, REFER TO Table 3.9.2.1 (WIRE BALUSTRADE CONSTRUCTION - REQUIRED WIRE TENSION & MAXIMUM PERMISSIBLE DEFLECTION) OF THE NCC.
EXHAUST FANS FROM SANITARY COMPARTMENTS TO BE DUCTED EXTERNALLY

Additional Notes:
• ALL WINDOWS TO COMPLY WITH BCA CLAUSE 3.9.2.5.
• ALL WINDOWS TO HAVE CLEAR GLAZING UNLESS SPECIFIED.
• LAMINATED GLAZING TO WET AREA WINDOWS TO AS1288 - 1994.
• WC DOOR TO BE REMOVABLE AND FITTED WITH LIFT OFF HINGES WHERE REQUIRED AS PER BCA AMENDMENT 3 PART 3.8.3.3
• WATERPROOFING TO WET AREAS TO COMPLY WITH AS3740.
• WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE
• MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH B.C.A P.2.4.5
• ALL WINDOW HEAD HEIGHTS TO BE 2400mm HIGH UNLESS OTHERWISE NOTED
• GREY GLASS TO ALL WINDOWS AND DOORS U.O.N.
• DOUBLE STUDS TO ALL INTERNAL DOORS
□ TIMBER ROOF TRUSS AND WALL FRAMES TO MANUFACTURER'S SPECIFICATIONS

• EXPANSION JOINTS ARE TO BE PROVIDED IN ACCORDANCE WITH ENGINEER'S SPECIFICATIONS
• ALL GLAZING TO AUSTRALIAN STANDARD 1288-2006
• EAVES OVERHANG AND GABLE ARE MEASURED FROM INNER FACE OF FASCIA TO OUTSIDE FACE OF TIMBER FRAME
• ALL WINDOW HEAD HEIGHTS TO BE AT 2135mm HIGH UNLESS OTHERWISE NOTED

ADDITIONAL NOTES (MORE DEPTH AND SPECIALISED PROPOSED STRUCTURE REQUIREMENTS):
□ IT IS THE BUILDERS RESPONSIBILITY TO CONFIRM THE DEPTH OF THE SEWER, WATER AND STORMWATER INFRASTRUCTURE AND ENSURE FOUNDATION CONSTRUCTION ACHIEVED THE REQUIREMENTS OF THE QUEENSLAND DEVELOPMENT CODE MP 1.4 - BUILD OVER OR NEAR RELEVANT INFRASTRUCTURE.

□ WC DOORS TO COMPLY WITH THE BCA.PART 3.8.3; DOOR TO SWING OUT FROM THE EDGE OF THE PAN, DISTANCE BETWEEN THE PAN AND THE DOOR EDGE TO BE 1200mm OR LIFT-OFF HINGES TO BE INSTALLED.

□ MASONRY CONSTRUCTION TO COMPLY WITH NCC VOLUME TWO PART 3.3 (as applicable).

□ FINISHED FLOOR LEVEL TO BE IN COMPLIANCE WITH THE BCA VOL 2 PART 3.1.3

- 50mm ABOVE HARD PAVED SURFACES
- 100mm ABOVE WELL DRAINED SANDY SOILS
- 150mm IN ANY OTHER CASE.
□ NATURAL LIGHT AND VENTILATION TO BE PROVIDED IN ACCORDANCE WITH THE BCA VOL. 2 PART 3.8. CAVITY SLIDING DOORS ARE TO BE GLAZED PANELS OR A SKYLIGHT/S IS TO BE PROVIDED IN ACCORDANCE WITH THE BCA PART 3.8.4

□ ROOF CLADDING AND FLASHINGS TO BE INSTALLED IN ACCORDANCE WITH BCA PART 3.5.1 AND 3.5.2 (as applicable).

□ TERMITE MANAGEMENT SYSTEM TO BE FULLY INSTALLED TO COMPLY WITH BCA PART 3.1.4 AND AS 3660.1 INCLUDING ALL PENETRATIONS AND COLD JOINTS AS APPLICABLE.

□ PRIVACY SCREENING TO WINDOWS/BALCONIES MUST BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY PLANNING SCHEME.

□ IF THE COMBINED HEIGHT OF RETAINING WALLS AND FENCING EXCEEDS 2M ABOVE NATURAL GROUND LEVEL, FURTHER APPROVALS FROM THE LOCAL AUTHORITY MAY BE REQUIRED PRIOR TO THE ISSUE OF A FINAL CERTIFICATE

(i) RETAINING WALLS GREATER THAN 1M IN HEIGHT, WITHIN 1.5M OF ANOTHER BUILDING/STRUCTURE, OR TAKING SURCHARGE LOAD, MAY REQUIRE ENGINEER'S DETAILS AND FURTHER APPROVALS

□ GRADE SITE AWAY FROM THE BUILDING AT A MINIMUM SLOPE OF 1:20 FOR A MINIMUM DISTANCE OF 1000MM TO PERIMETER, SO THAT THE WATER DRAINS TO THE ROAD OR UNDERGROUND DRAINAGE, NOT ONTO NEIGHBOURING PROPERTIES
□ EXTERNAL WALL WITHIN 900mm OF THE BOUNDARY MUST BE FIRE RATED TO 60/60/60 IN ACCORDANCE WITH THE BCA VOL 2, PART 3.7.2, AND CONSTRUCTED OF MAINTENANCE FREE MATERIALS IN ACCORDANCE WITH THE QDC, PART A6.

□ A SEAL TO RESTRICT AIR INFILTRATION MUST BE FITTED TO EACH EDGE OF AN EXTERNAL DOOR, OPENABLE WINDOW AND OTHER SUCH OPENING WHEN SERVING A CONDITIONED SPACE AS PER BCA VOL 2 PART 3.12.3

□ THE SPACING BETWEEN DOWNPIPES MUST NOT BE MORE THAN 12M, AS PER THE BCA VOL. 2 PART 3.5.2.

□ DOWNPIPES MUST NOT SERVE MORE THAN 12M OF GUTTER LENGTH, AS PER THE BCA VOLUME 2 PART 3.5.2.5

□ SMOKE ALARMS MUST COMPLY WITH THE REQUIREMENTS OF BCA, PART 3.7 - FIRE SAFETY AND THE BUILDING REGULATION PART 3A

-PLEASE NOTE: SMOKE ALARMS ARE TO BE LOCATED A MINIMUM OF 300MM AWAY FROM LIGHT FITTINGS AND WALLS AND 400MM AWAY FROM CEILING FAN BLADES AND/OR AIR CONDITIONER VENTILATION OPENINGS.
-SMOKE ALARMS MUST BE 500MM AND 1500MM AWAY FROM THE HIGH POINT AND APEXES OF THE CEILING, IF THE ROOM HAS A SLOPING CEILING

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WORKING DRAWINGS

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| | | <table><tr><td>REV</td><td>DESCRIPTION</td><td>DATE</td><td>BY</td></tr><tr><td>D</td><td>DRAFTING AMENDMENT</td><td>15.01.2023</td><td>AM</td></tr><tr><td>E</td><td>DRAFTING AMENDMENT</td><td>02.02.2023</td><td>LX</td></tr><tr><td>F</td><td>DRAFTING AMENDMENT</td><td>07.02.2023</td><td>LX</td></tr><tr><td>G</td><td>DETAIL APPROVAL</td><td>07.02.2023</td><td>AM</td></tr><tr><td>H</td><td>DETAIL APPROVAL</td><td>15.03.2023</td><td>AM</td></tr><tr><td>I</td><td>SITE ISSUE</td><td>21.03.2023</td><td>LX</td></tr><tr><td>J</td><td>SITE ISSUE</td><td>11.04.2023</td><td>LX</td></tr><tr><td>K</td><td>DRAFTING AMENDMENT</td><td>09.05.2023</td><td>AM</td></tr><tr><td>L</td><td>DRAFTING AMENDMENT</td><td>21.06.2023</td><td>LX</td></tr></table> | REV | DESCRIPTION | DATE | BY | D | DRAFTING AMENDMENT | 15.01.2023 | AM | E | DRAFTING AMENDMENT | 02.02.2023 | LX | F | DRAFTING AMENDMENT | 07.02.2023 | LX | G | DETAIL APPROVAL | 07.02.2023 | AM | H | DETAIL APPROVAL | 15.03.2023 | AM | I | SITE ISSUE | 21.03.2023 | LX | J | SITE ISSUE | 11.04.2023 | LX | K | DRAFTING AMENDMENT | 09.05.2023 | AM | L | DRAFTING AMENDMENT | 21.06.2023 | LX | <table><tr><td>RP DESCRIPTION</td><td></td></tr><tr><td>LOT NO:</td><td>/</td></tr><tr><td>AREA:</td><td>405m²</td></tr><tr><td>PLAN NO:</td><td>/</td></tr><tr><td>WARD:</td><td>/</td></tr><tr><td>SUBURB</td><td>/</td></tr><tr><td>AUTHORITY:</td><td>B.C.C</td></tr></table> | RP DESCRIPTION | | LOT NO: | / | AREA: | 405m² | PLAN NO: | / | WARD: | / | SUBURB | / | AUTHORITY: | B.C.C | <table><tr><td>PROJECT DESCRIPTION</td></tr><tr><td>'PROPOSED EXTENSION'</td></tr><tr><td>/ - /</td></tr><tr><td>/</td></tr><tr><td>SHEET NUMBER & NAME</td></tr><tr><td>000.10 TITLE PAGE</td></tr></table> | PROJECT DESCRIPTION | 'PROPOSED EXTENSION' | / - / | / | SHEET NUMBER & NAME | 000.10 TITLE PAGE | |
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| D | DRAFTING AMENDMENT | 15.01.2023 | AM | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| E | DRAFTING AMENDMENT | 02.02.2023 | LX | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| F | DRAFTING AMENDMENT | 07.02.2023 | LX | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| G | DETAIL APPROVAL | 07.02.2023 | AM | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| H | DETAIL APPROVAL | 15.03.2023 | AM | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| K | DRAFTING AMENDMENT | 09.05.2023 | AM | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| L | DRAFTING AMENDMENT | 21.06.2023 | LX | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| RP DESCRIPTION | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| AREA: | 405m² | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| WARD: | / | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SUBURB | / | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| AUTHORITY: | B.C.C | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| PROJECT DESCRIPTION | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 'PROPOSED EXTENSION' | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| SHEET NUMBER & NAME | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 000.10 TITLE PAGE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |



1 : 100

WORKING DRAWINGS

An analog clock face with a black circle and a black dot in the center. Two black hands are shown: a shorter hour hand pointing slightly past the 10 and a longer minute hand pointing exactly at the 2.

| SITE COVER | | |
|--------------------|---------------|--------|
| Name | BUILDING AREA | % |
| EXISTING BUILDING | 95 m² | 21.70 |
| PROPOSED EXTENSION | 88 m² | 23.50 |
| | 183 m² | 45.20% |

50% MAX

DESIGN COMPLY WITH TRANSPORT NOISE OVERLAYS

CONNECT NEW STORWATER RUN OFF INTO EXISTING

CONNECT NEW GREY WATER INTO EXISTING

POOL & DECK CONSTRUCTION FOLLOWED BY ENGINEER INSTRUCTION.
REFER TO ENGINEERING DRAWINGS FOR CERTIFICATION AND DETAILS

BUILDING NOTES

WALL FRAMES:

EXTERNALS: 90/70mm TIMBER STUD OR 90/70mm METAL STUD

INTERNALS: 90/70mm TIMBER STUD **UNO** OR 90/70mm METAL STUD **UNO**
(TIMBER WALL FRAMES ARE T2 / H2 TREATED)

EXTERNAL WALLS TYPES:

GROUND FLOOR

CLADDING (DIRECT FIX)

FIRST FLOOR

CLADDING (DIRECT FIX)

ROOFING:

CUSTOM ORB SHEETING (ANTICON BONDED BLANKET)

FASCIA:

COLORBOND METAL FIXED FASCIA

GUTTER: 150MM HIGH FRONT SLOTTED QUAD WITH SPACER

DOWNPIPES: 90Ø PVC

INTERNAL LININGS:

WALLS

10MM PLASTERBOARD

10MM WR PLASTERBOARD TO ALL WET AREAS

WC

10MM PLASTERBOARD (SKIRTING TILE ONLY)

10MM WR PLASTERBOARD TO FULL HEIGHT TILES

LAUNDRY

10MM WR PLASTERBOARD

(BOTTOM SHEET ONLY) TUB / WASHING MACHINE

CEILINGS:

10MM PLASTERBOARD

(10mm WR PLASTERBOARD FOR EXTERNAL APPLICATION)

SOFFITS:

4.5MM FC

INSULATION:

CEILING R2.5 CEILING INSULATION BATTS

(EXCLUDING GARAGE & EAVES)

EXTERNAL WALLS WITH WALL WRAP AROUND PERIMETER

CLADDED EXTERNAL WALLS WITH R1.5 WALL BATTS

SITE NOTES

CONTOURS AND LEVELS SHOWN ARE PROVIDED BY A LICENSED SURVEYOR

TOPOGRAPHY SHOWN IS BASED ON AN ASSUMED DATUM POINT

ALL SURVEY PEGS ARE TO BE LOCATED PRIOR TO EARTHWORKS

SURFACE WATER TO BE DRAINED AWAY FROM DWELLING

(PROVIDE A 1:20 MIN. FALL)

UNLESS NOTED OTHERWISE, REMOVAL OF EXISTING TREES AND

CONSTRUCTION OF RETAINING WALLS, WHERE REQUIRED, SHALL

BE PROVIDED BY THE OWNER

MAXIMUM BATTERS SHALL OCCUR AS FOLLOWS:-

(I) CUT - 1:1

(II) FILL - 1:3

(III) VEHICULAR ACCESS - 1:5 (1:6 PREFERRED)

THE WORKING PAD R.L. NOTED ON THE SLAB SETOUT PLAN SHALL

HAVE A TOLERANCE OF UP TO +/- 100MM

FIRE ANT:

PRIOR TO ANY REMOVAL OF SOIL ON THE SITE, BUILDER MUST

CHECK FIRE ANT REGUALTION ZONE

STORMWATER:

- 2x100mm DIA HEAVY DUTY PVC UNDERGROUND

STORMWATER PIPES **UNO** CONNECTED TO DOWNPIPES.

BUILDER/ROOF PLUMBER IS ENSURE THAT ALL

GUTTERS/DOWNPIPES COMPLY WITH NCC VOL. 1 PART 3.5.

PRIOR TO ANY EXCAVATION OR CONSTRUCTION ON THE SITE,

THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR

POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES.

STORMWATER LAYOUT SHOWN IS INDICATIVE ONLY & WILL BE

LAID AT THE PLUMBERS DISCRETION

SERVICES:

LOT ELECTRICAL SUPPLY TO BE OVERGROUND OR

UNDERGROUND (PROPERTY POLE REQUIRED?)

GAS MAINS CONNECTION AVAILABILITY:

YES

CLASSIFICATIONS:

SOIL CLASSIFICATION:

(REFER TO REPORT)

WIND CLASSIFICATION:

(REFER TO REPORT)

OVERLAYS:

BAL RATING:

???

(REFER TO REPORT IF APPLICABLE)

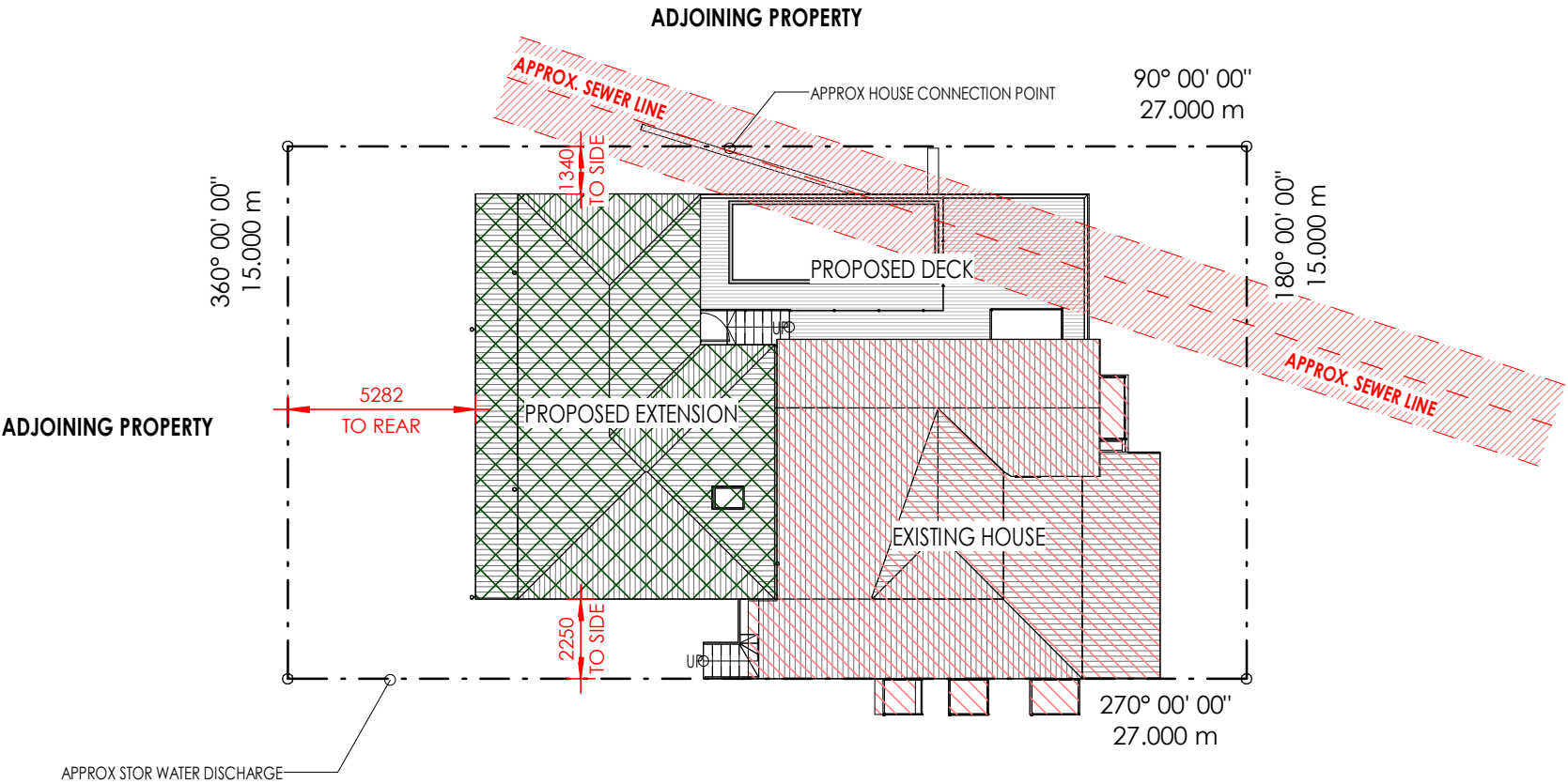
ACOUSTIC RATING:

N/A

FLOOD REQUIRMENT:

???

(REFER TO REPORT)



SITE PLAN

1 : 200

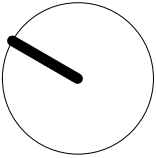
IF MULTIPLE PAD AND SLAB HEIGHTS ARE USED REFER TO SHEET 110.20

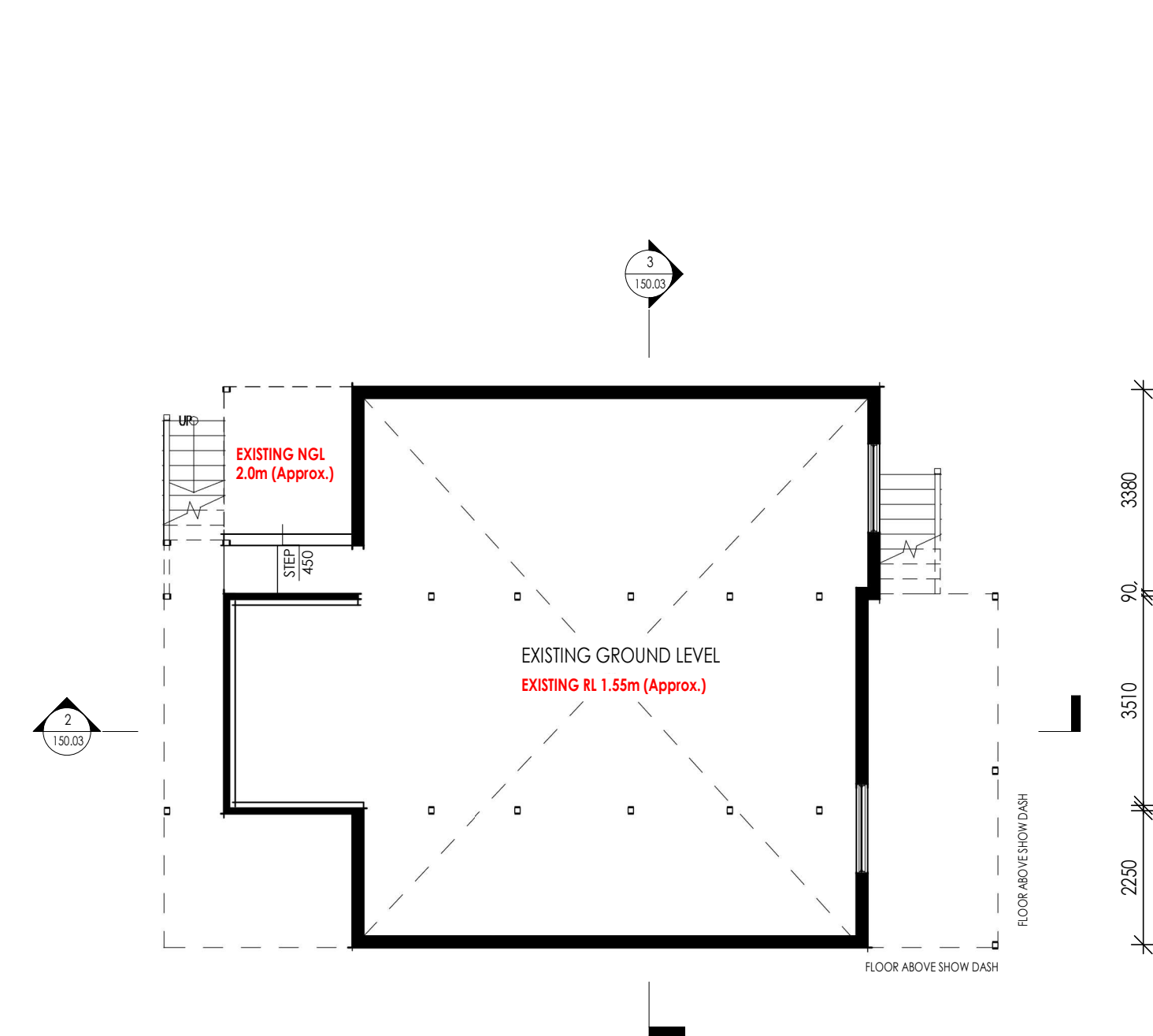
PAD HEIGHT:

SLAB HEIGHT:

WORKING DRAWINGS

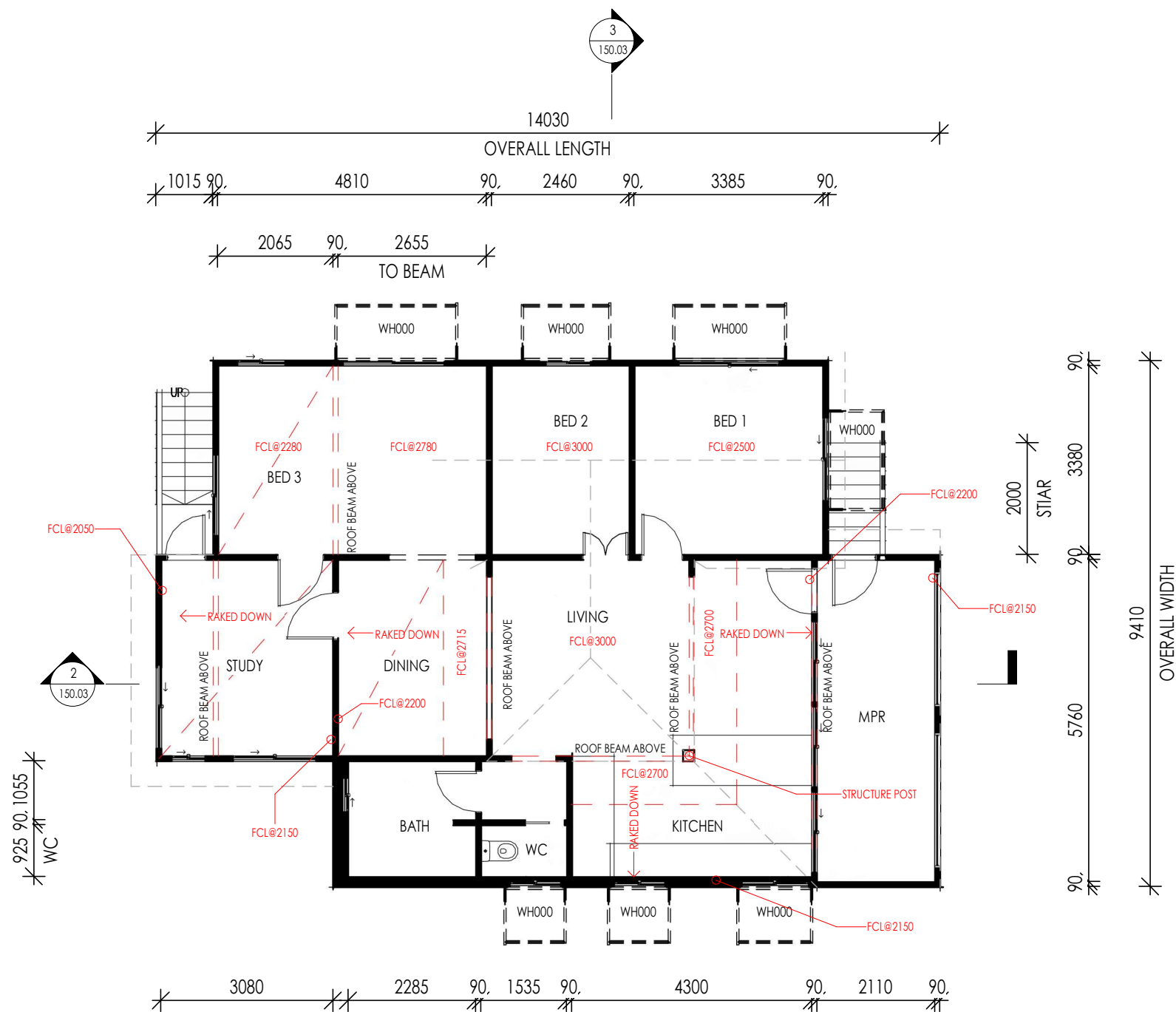
| REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|--------------------|------------|----|------------------|----------------------|
| D | DARFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' |
| E | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | / - / |
| F | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | / |
| G | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
| H | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | |
| I | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | |
| J | SITE ISSUE | 11.04.2023 | LX | | |
| K | DRAFTING AMENDMENT | 09.05.2023 | AM | | |
| L | DRAFTING AMENDMENT | 21.06.2023 | LX | | |





EXISTING GROUND FLOOR


1 : 100



EXISTING FIRST FLOOR

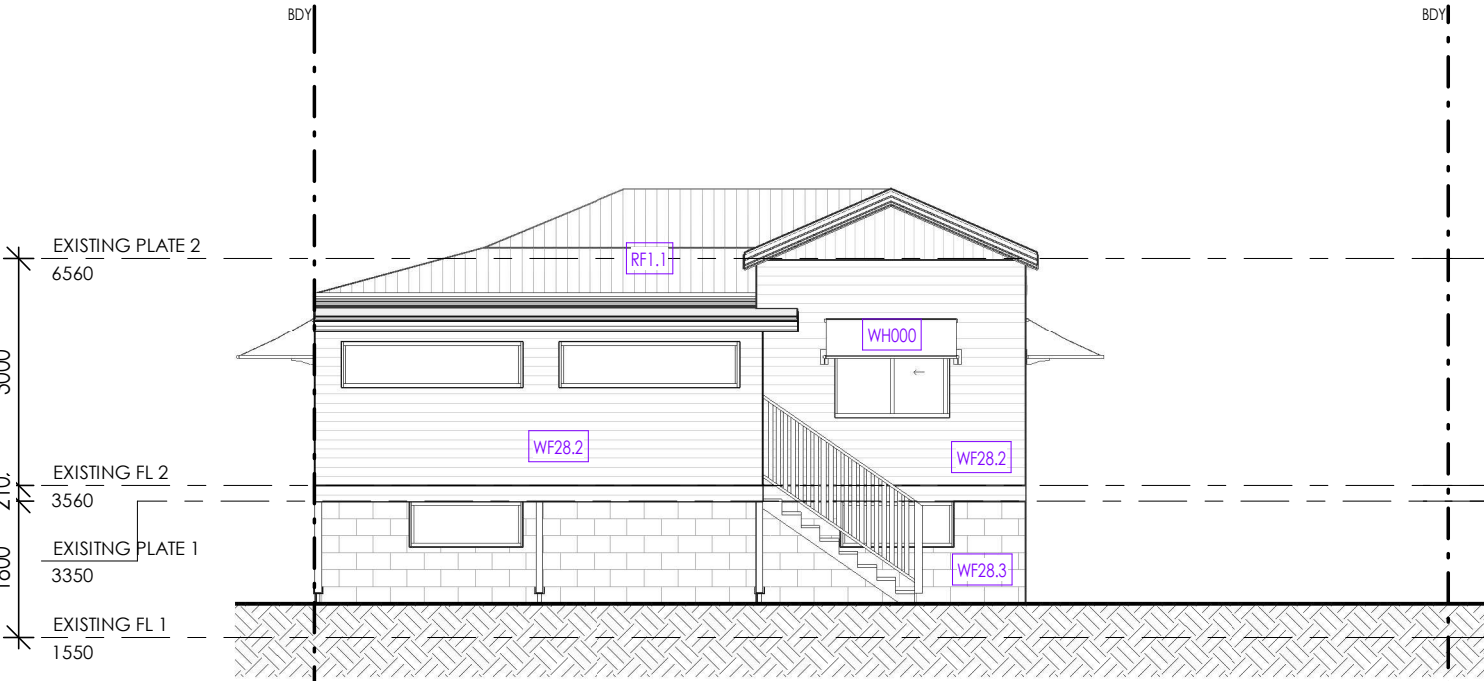
1 : 100

WORKING DRAWINGS

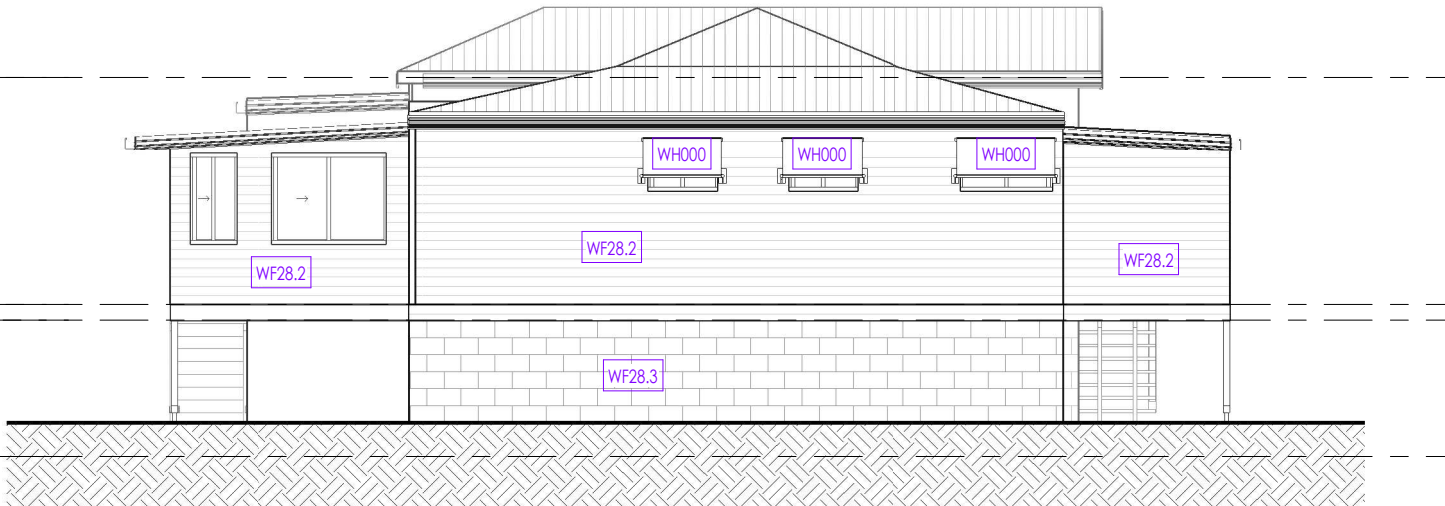
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| | | REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |  |
| | | D | DRAFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' | |
| | | E | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | / - / | |
| | | F | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | / | |
| | | G | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | | |
| | | H | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | | |
| | | I | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | | |
| | | J | SITE ISSUE | 11.04.2023 | LX | | | |
| | | K | DRAFTING AMENDMENT | 09.05.2023 | AM | | SHEET NUMBER & NAME | |
| | | L | DRAFTING AMENDMENT | 21.06.2023 | LX | | 150.00 EXISTING PLAN | |

KEYNOTE LEGEND

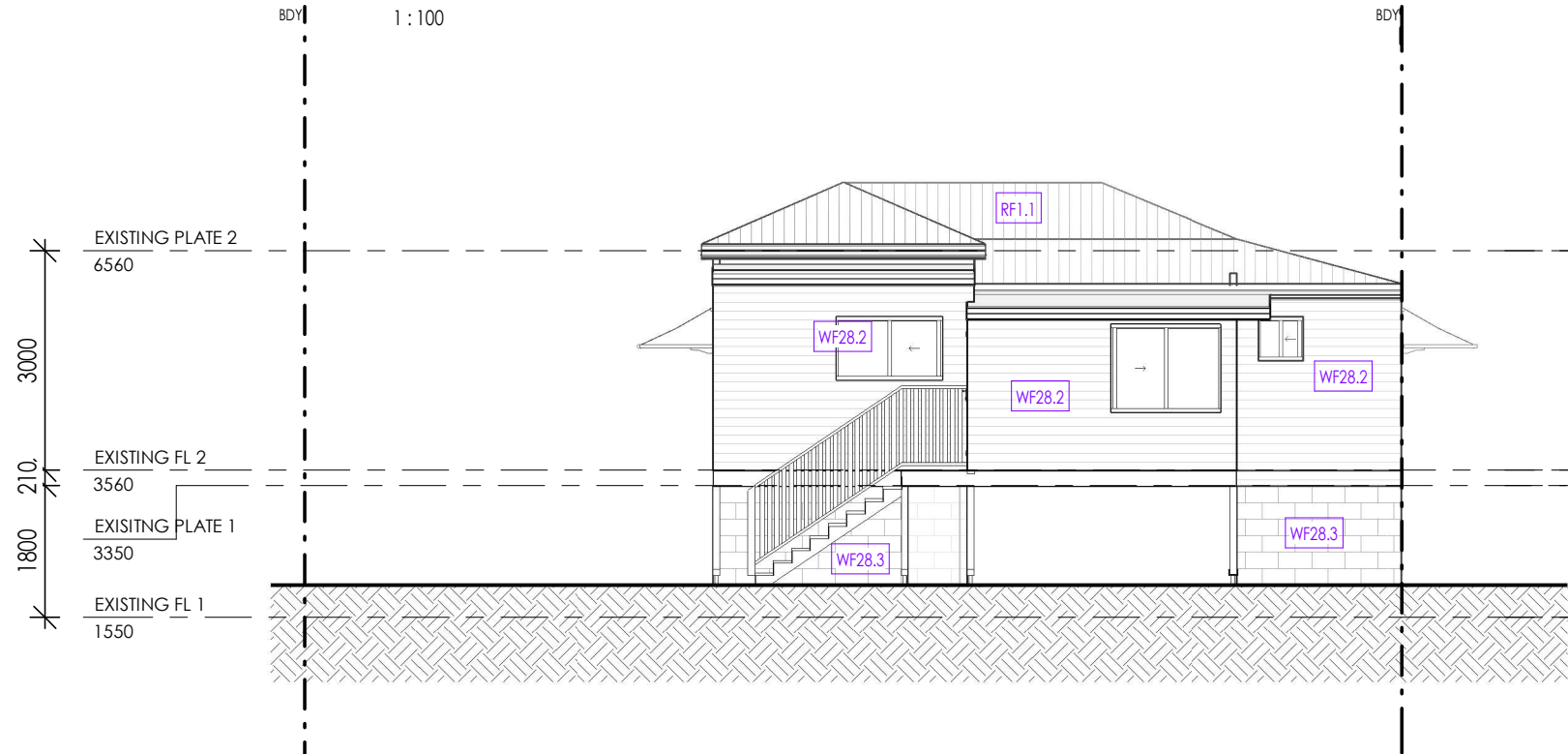
| | |
|--------|---------------------------|
| RF1.1 | METAL ROOF SHEETING |
| WF28.2 | EXISTING CLADDING |
| WF28.3 | EXISTING BLOCKWORK FINISH |
| WH000 | EXISTING WINDOW HOOD |



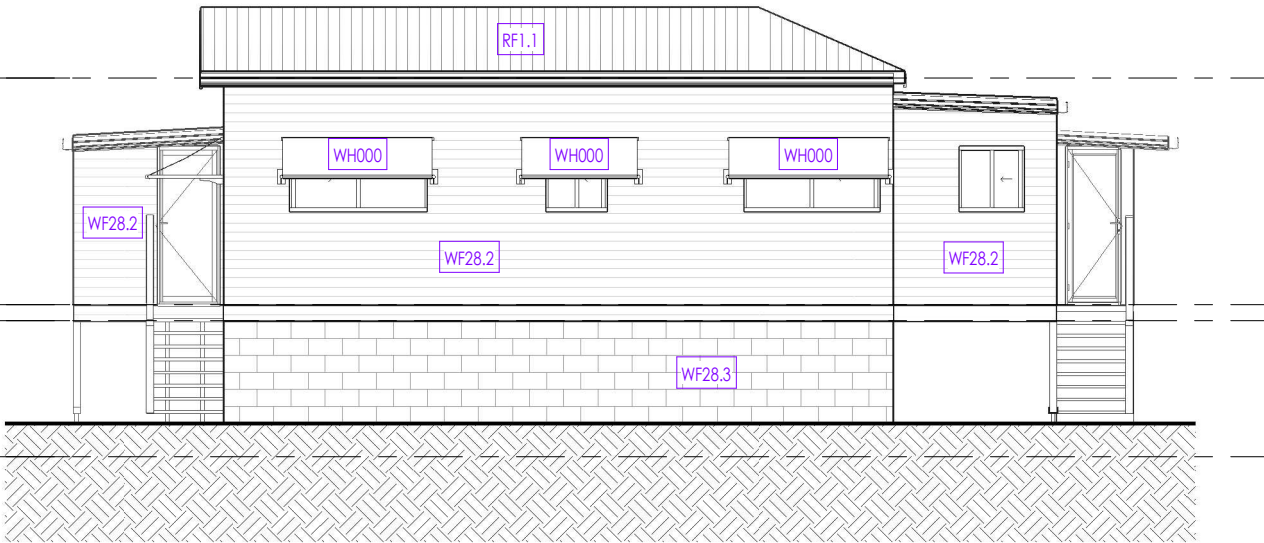
EXISTING ELEVATION B (EAST)
1 : 100



EXISTING ELEVATION C (SOUTH)
1 : 100



EXISTING ELEVATION D (WEST)
1 : 100



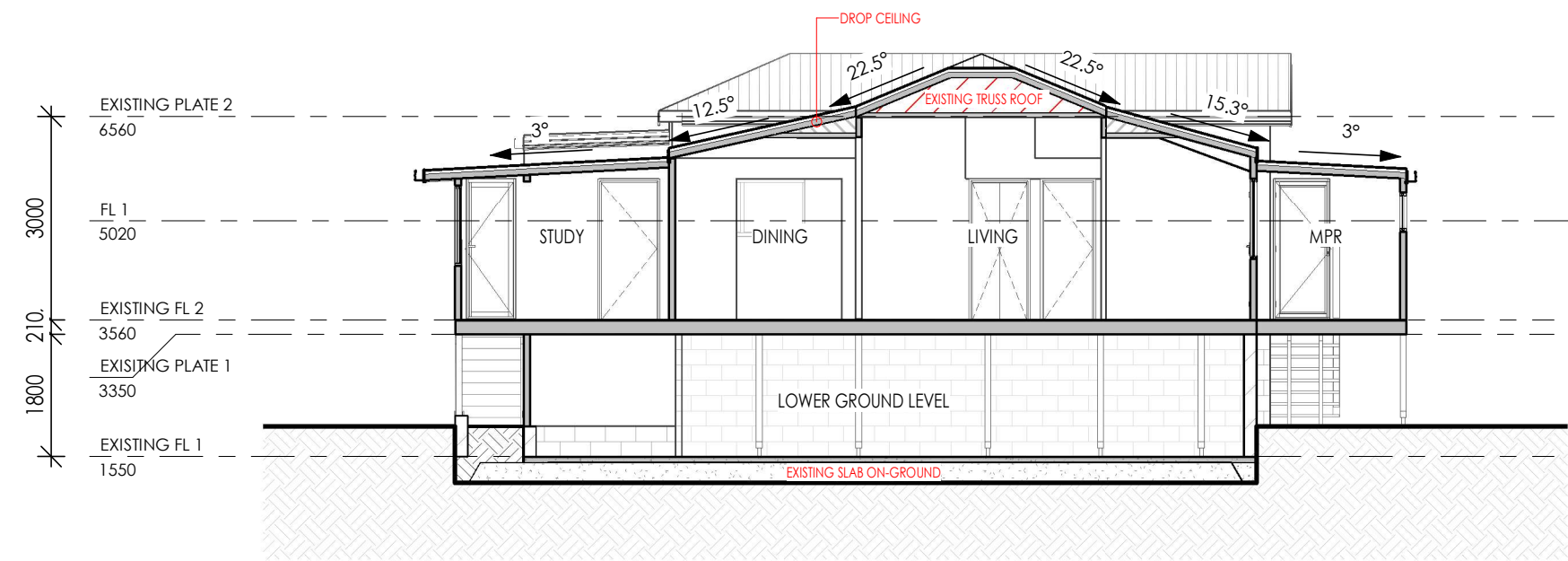
EXISTING ELEVATION A (NORTH)
1 : 100

WORKING DRAWINGS

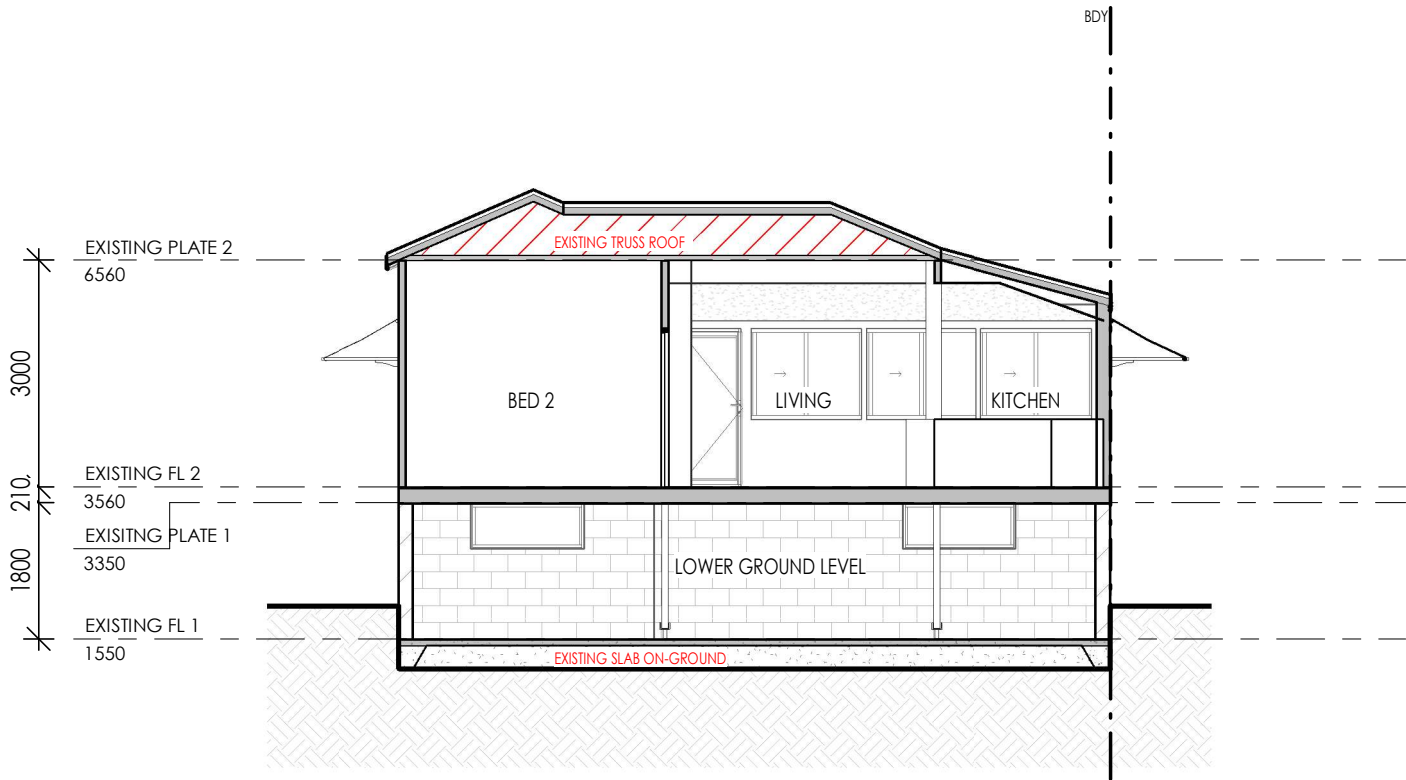
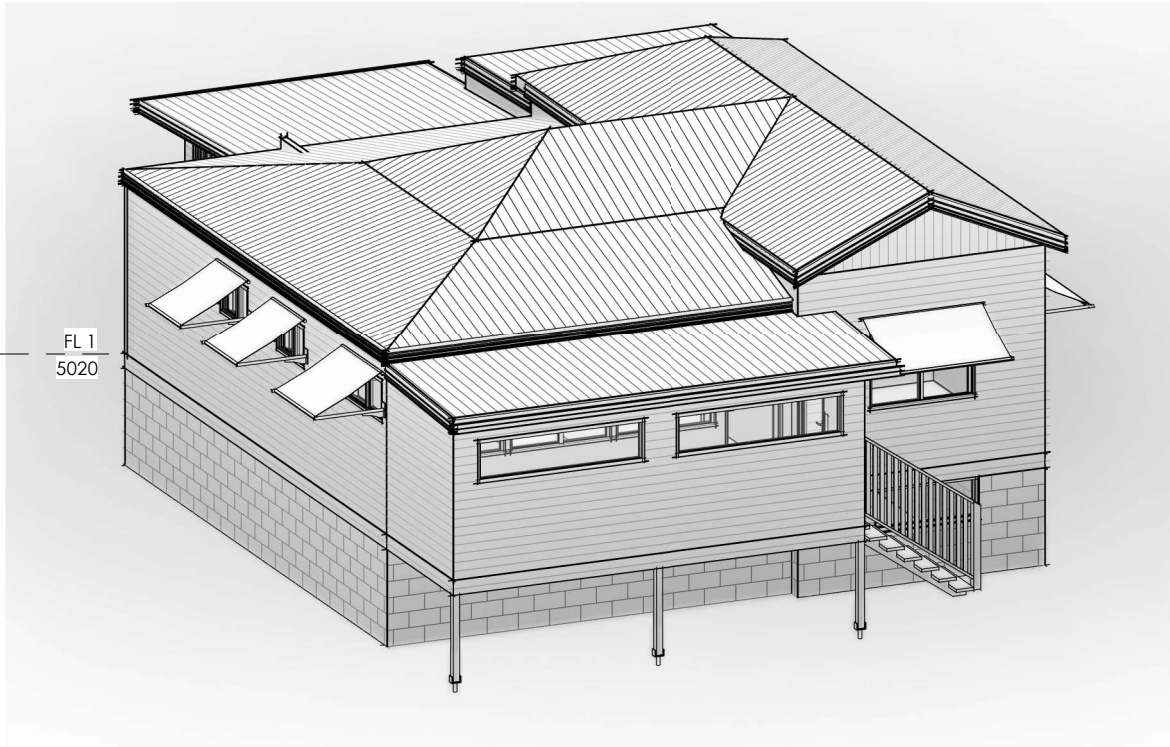
| REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|--------------------|------------|----|------------------|----------------------|
| D | DRAFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' |
| E | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | / - / |
| F | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | / |
| G | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
| H | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | |
| I | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | |
| J | SITE ISSUE | 11.04.2023 | LX | | |
| K | DRAFTING AMENDMENT | 09.05.2023 | AM | | |
| L | DRAFTING AMENDMENT | 21.06.2023 | LX | | |

SHEET NUMBER & NAME

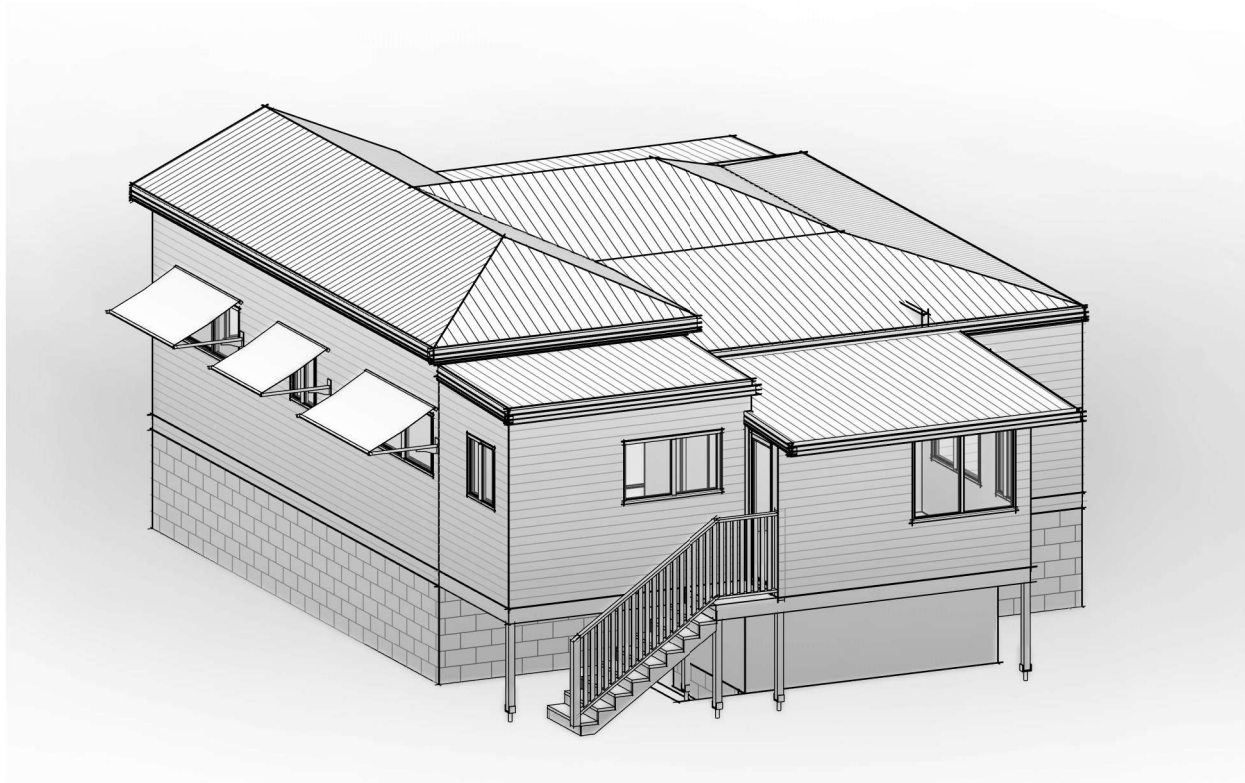
150.02 EXISTING ELEVATIONS



Section A
1 : 100



Section B
1 : 100



WORKING DRAWINGS

| REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|--------------------|------------|----|------------------|----------------------|
| D | DRAFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' |
| E | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | / - / |
| F | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | / |
| G | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
| H | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | |
| I | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | |
| J | SITE ISSUE | 11.04.2023 | LX | | |
| K | DRAFTING AMENDMENT | 09.05.2023 | AM | | |
| L | DRAFTING AMENDMENT | 21.06.2023 | LX | | |

SHEET NUMBER & NAME

150.03 EXISTING SECTIONS

EXISTING TYPE



REPLACED TYPE

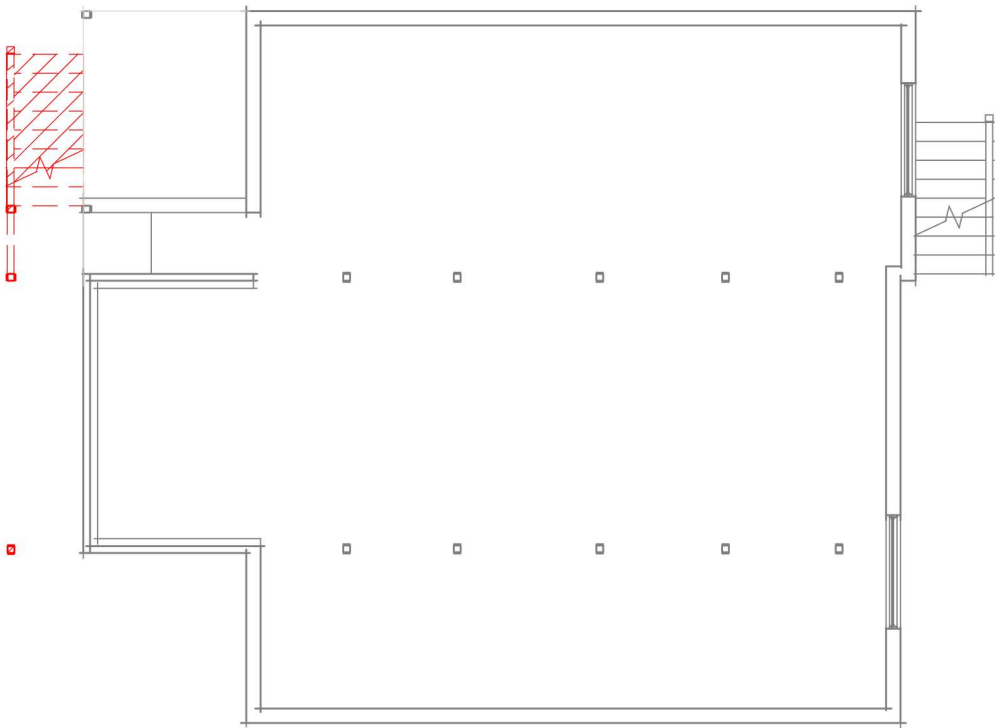


DEMO WALL LEGENDS

DEMOLISHED

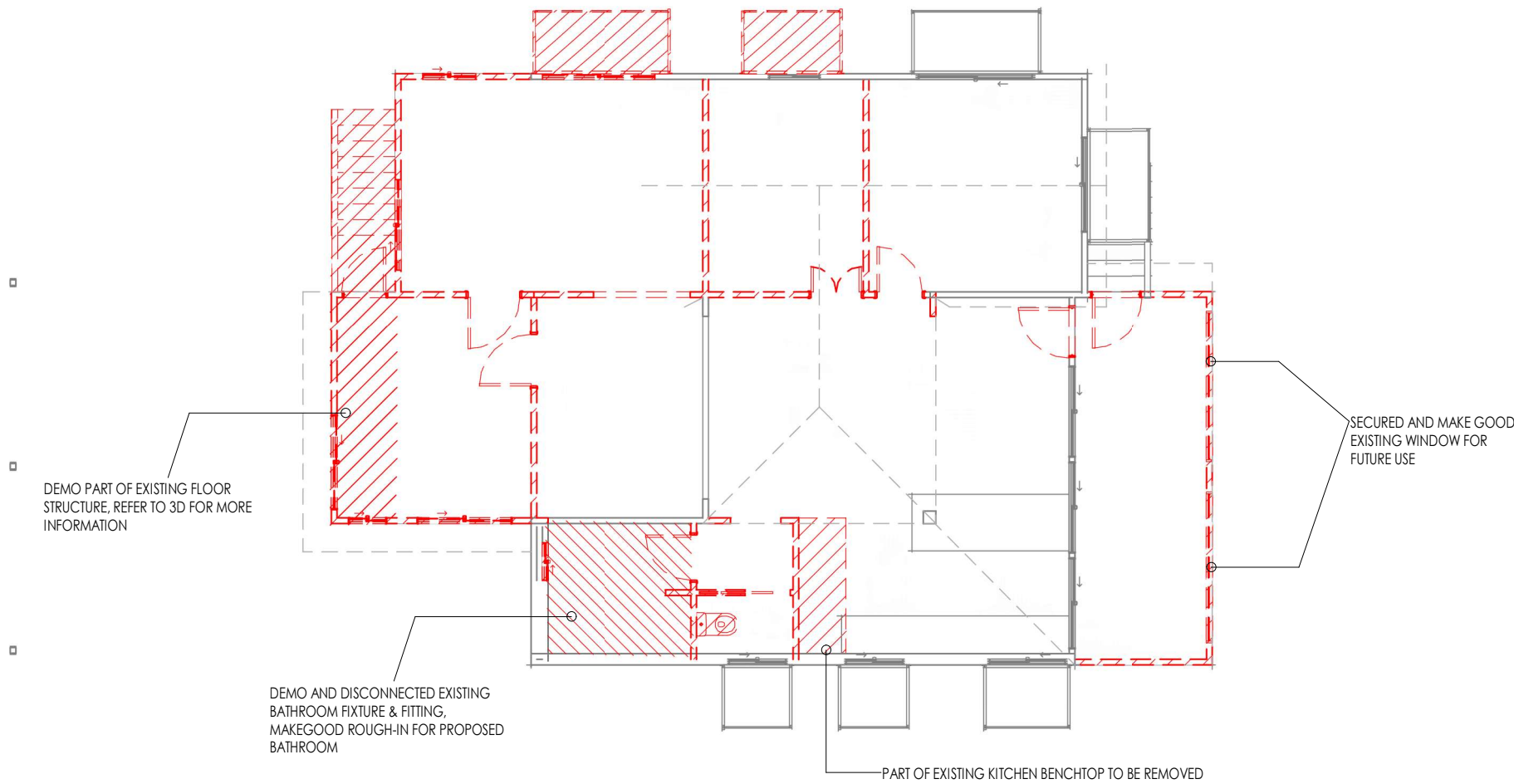
PROPOSED NEW

**REPLACE EXISTING WINDOW HOODS
WITH NEW WINDOW HOODS WHERE THE
EXISTING ONES ARE IMPACTED BY SALT
DAMAGE**



DEMO GROUND FLOOR


1 : 100

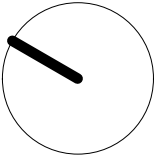


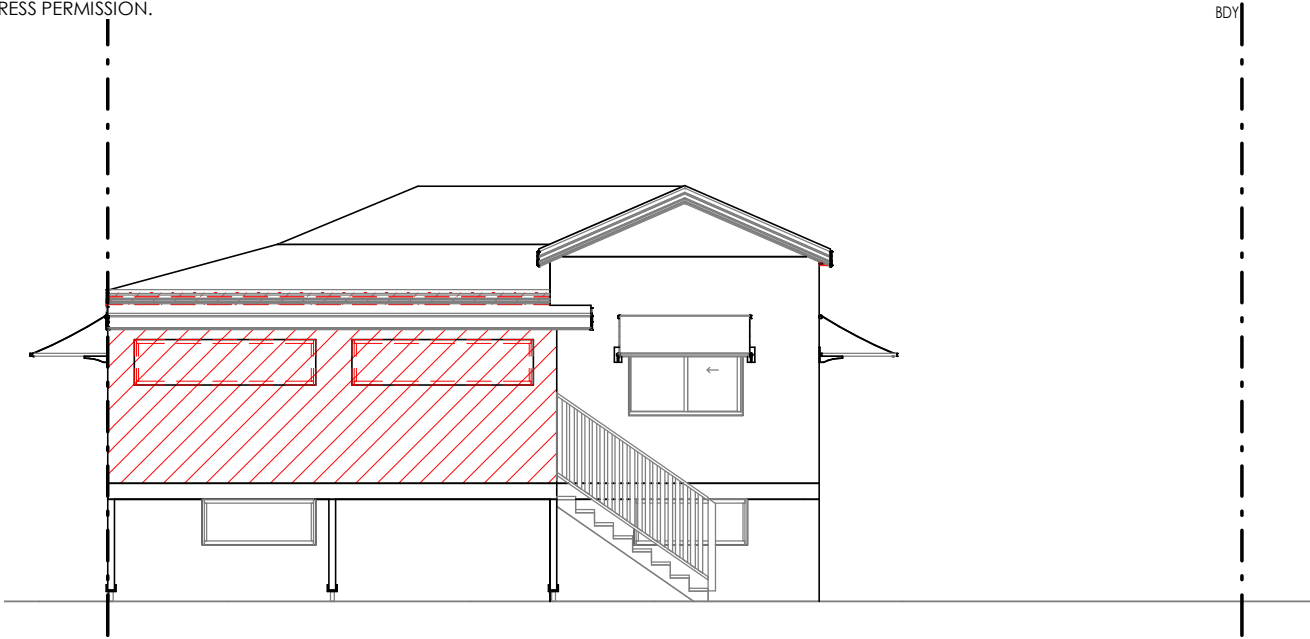
DEMO FIRST FLOOR

1 : 100

WORKING DRAWINGS

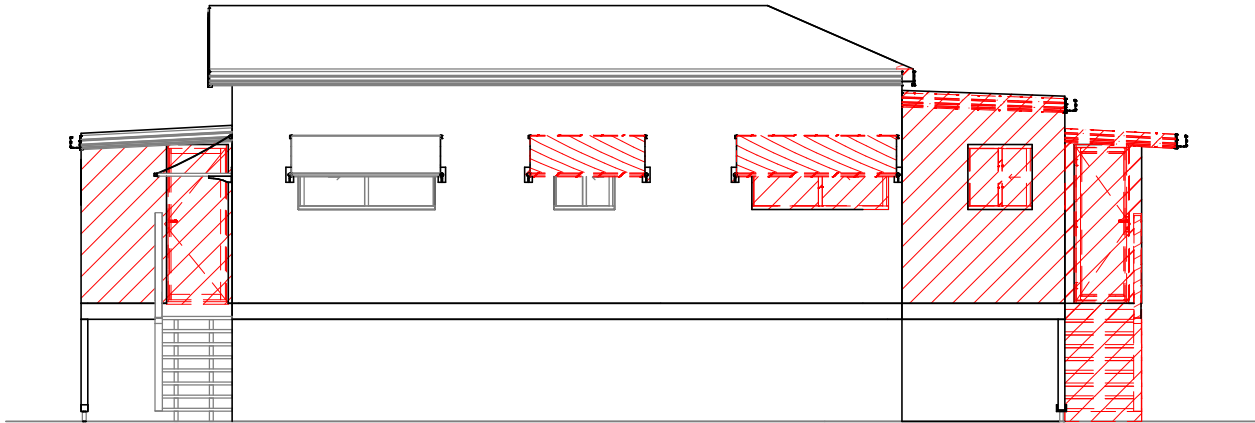
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|--|--|-----|--------------------|------------|----|------------------|-------------------------|---|
| | | REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |  |
| | | D | DRAFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' | |
| | | E | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | / - / | |
| | | F | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | / | |
| | | G | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | | |
| | | H | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | | |
| | | I | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | | |
| | | J | SITE ISSUE | 11.04.2023 | LX | | | |
| | | K | DRAFTING AMENDMENT | 09.05.2023 | AM | | SHEET NUMBER & NAME | |
| | | L | DRAFTING AMENDMENT | 21.06.2023 | LX | | 190.00 DEMOLITION PLANS | |





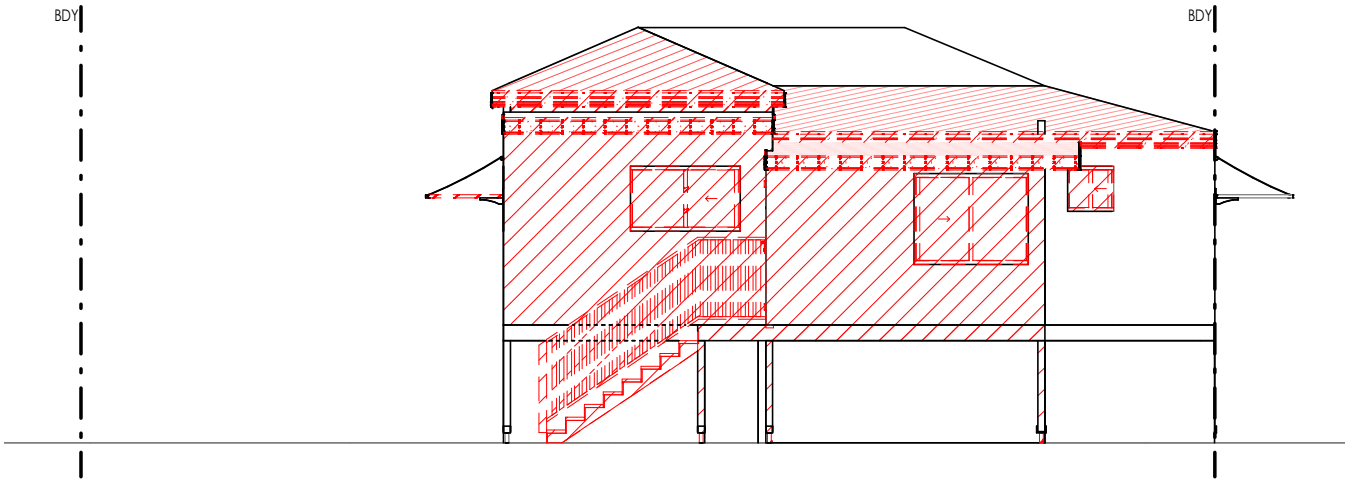
DEMO ELEVATION B (EAST)

1 : 100



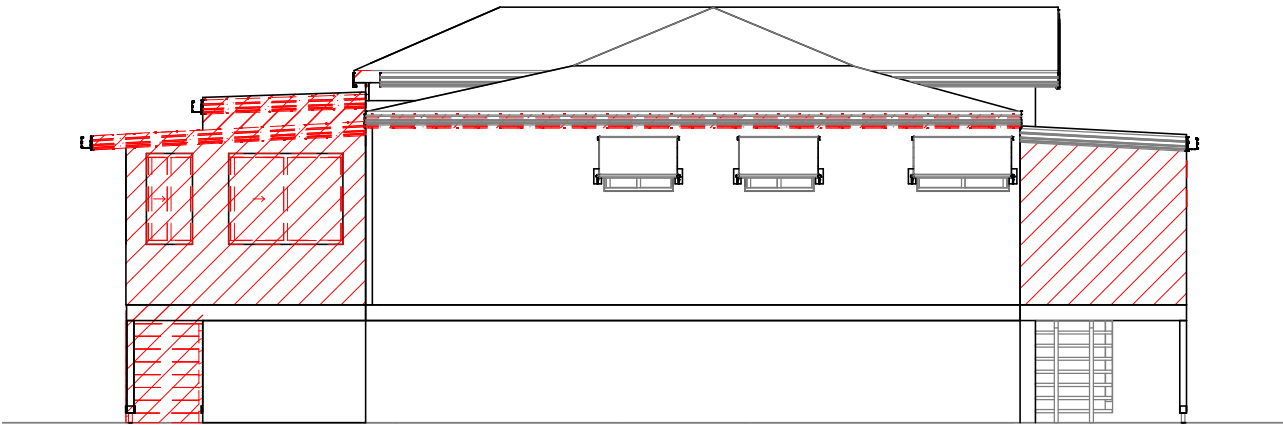
DEMO ELEVATION A (NORTH)

1 : 100



DEMO ELEVATION D (WEST)

1 : 100

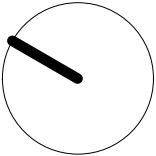


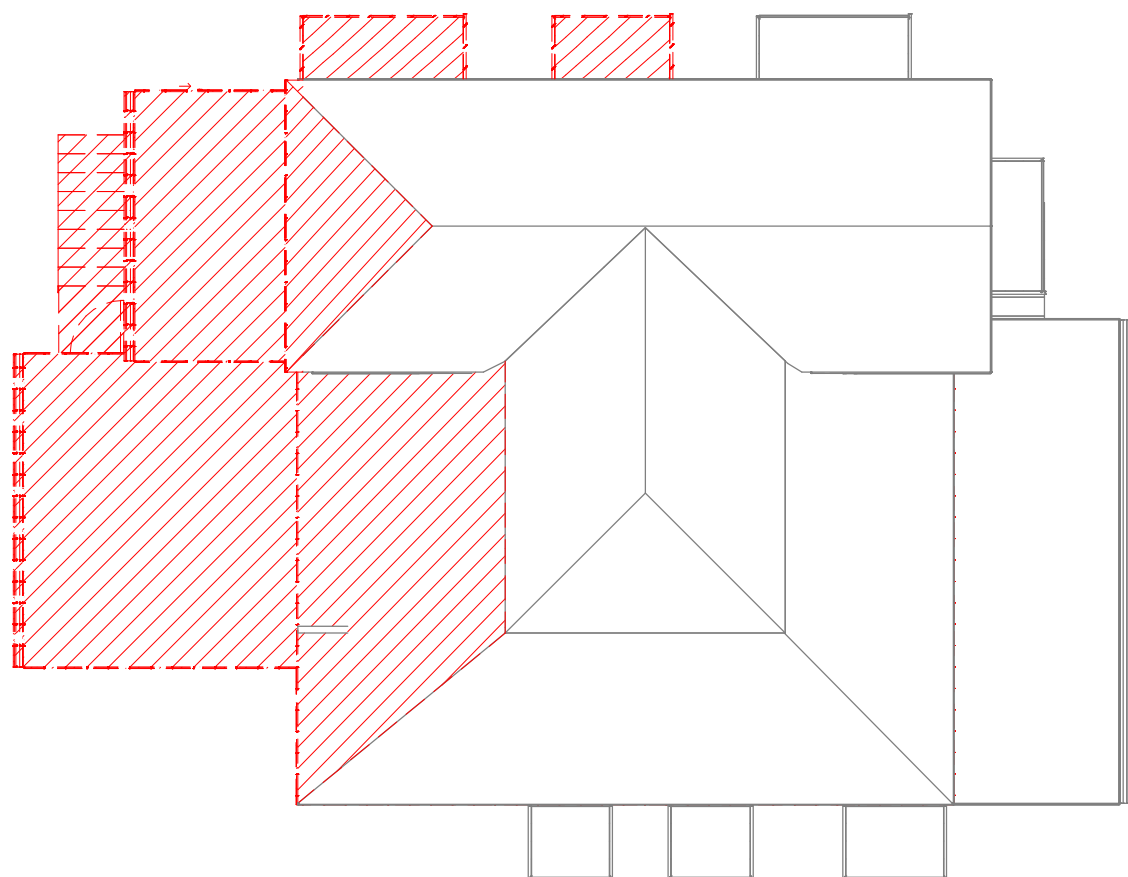
DEMO ELEVATION C (SOUTH)

1 : 100

WORKING DRAWINGS

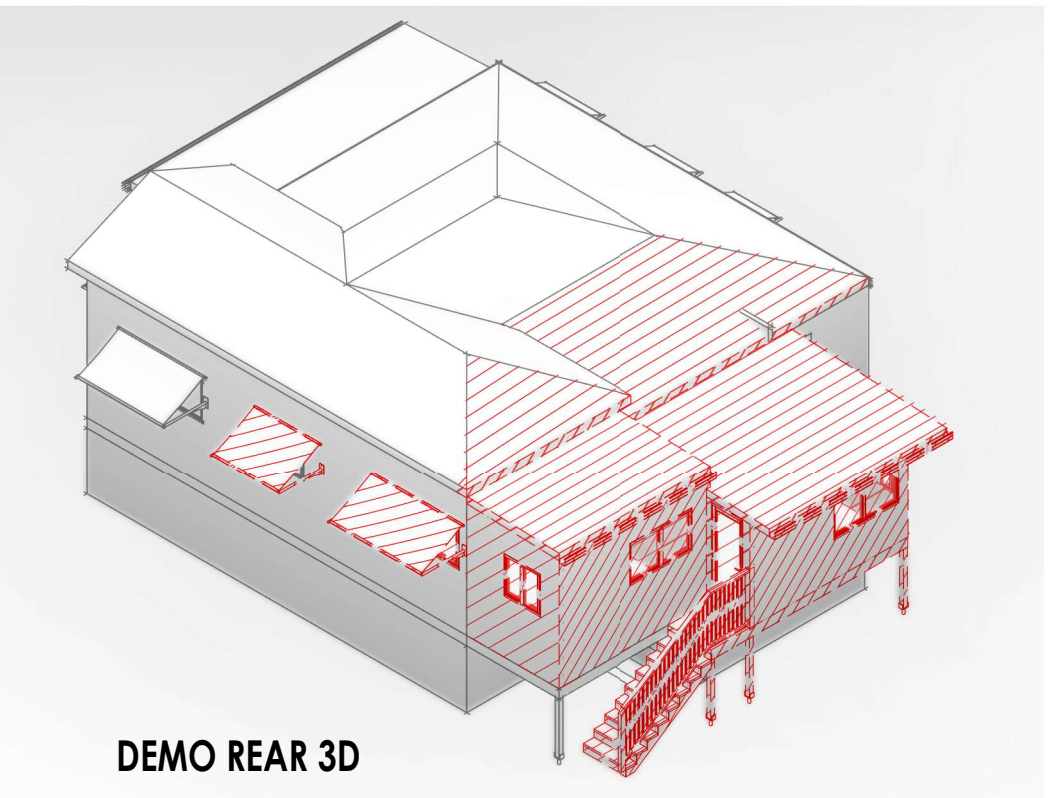
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| D | | DRAFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' |
| E | | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | / - / |
| F | | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | / |
| G | | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
| H | | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | |
| I | | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | |
| J | | SITE ISSUE | 11.04.2023 | LX | | |
| K | | DRAFTING AMENDMENT | 09.05.2023 | AM | | |
| L | | DRAFTING AMENDMENT | 21.06.2023 | LX | | |
| | | | | | | SHEET NUMBER & NAME |
| | | | | | | 190.02 DEMOLITION ELEVATIONS |



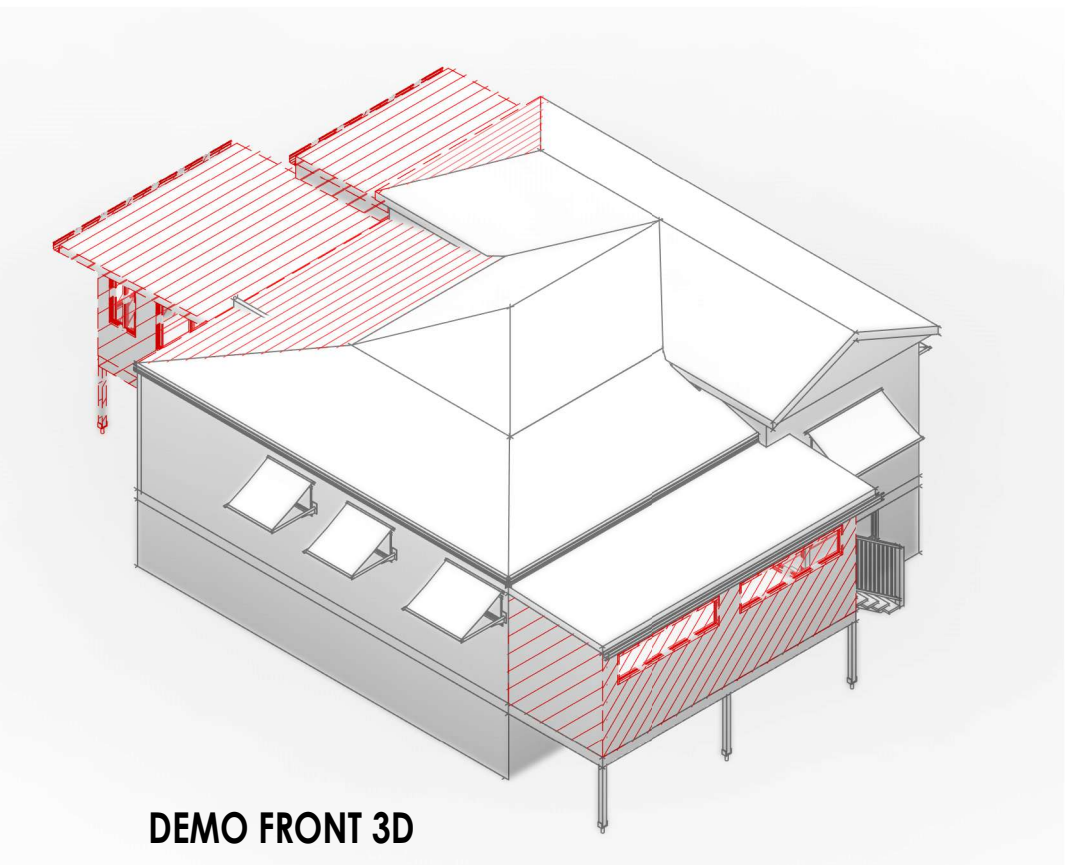


DEMO ROOF PLAN

1 : 100



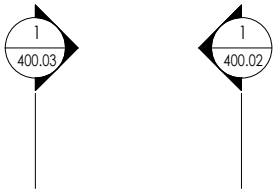
DEMO REAR 3D



DEMO FRONT 3D

WORKING DRAWINGS



| | | | | | | | |
|--|--|-----|--------------------|------------|----|----------------|------------------------------|
| | | REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
| | | D | DRAFTING AMENDMENT | 15.01.2023 | AM | LOT NO: | 'PROPOSED EXTENSION' |
| | | E | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: | / - / |
| | | F | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: | / |
| | | G | DETAIL APPROVAL | 07.02.2023 | AM | WARD: | SHEET NUMBER & NAME |
| | | H | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB | 190.03 DEMOLITION ELEVATIONS |
| | | I | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: | |
| | | J | SITE ISSUE | 11.04.2023 | LX | | |
| | | K | DRAFTING AMENDMENT | 09.05.2023 | AM | | |
| | | L | DRAFTING AMENDMENT | 21.06.2023 | LX | | |



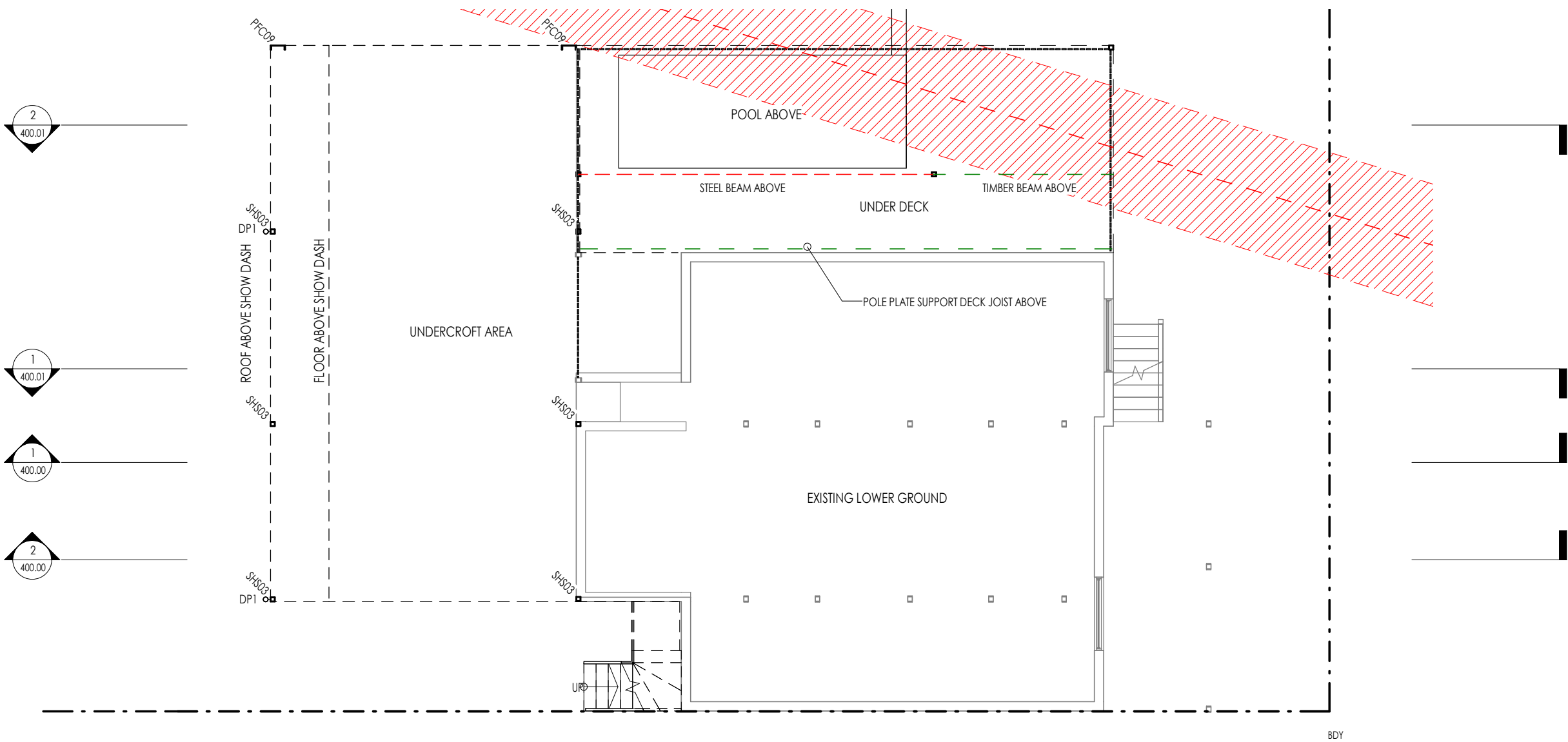
| KEYNOTE LEGEND | |
|----------------|--------------|
| DP1 | PVC DOWNPIPE |
| PFC09 | 300 PFC |
| SHS03 | 90 SHS |

| AREA SUMMARY | |
|--------------|-------|
| UPPER FLOOR | 66 m² |
| LOWER FLOOR | 91 m² |
| DECK | 46 m² |
| PATIO | 13 m² |
| 216 m² | |

DEMO WALL LEGENDS

-  DEMOLISHED
-  PROPOSED NEW

REFER TO POOL DETAIL PLAN FOR BUILT OVER SEWER INFORMATION



LOWER GOUND

1 : 100

MARKETING NOTES

FURNITURE SHOWN PROOVES AS AN INDICATIVE LAYOUT. HOWEVER THIS SHOULD NOT BE USED AS A LITERAL GUIDE. CHECK SIZES TO ENSURE YOUR FURNITURE LAYOUT WILL WORK THE WAY YOU WANT IT.

FURNITURE IS NOT INCLUDED WITHIN BUILD CONTRACT

VEHICLES DO NOT COME APART OF THE PACKAGE

ROOM SIZES ARE NOT TO SCALE AND WHAT IS SHOWN DOES NOT ALLOW FOR TOLERANCE. FINAL PRODUCT MAY SLIGHTLY DIFFER.

PLAN NOTES

REFER TO SHEET 100.10 FOR CONSTRUCTION METHODOLOGY FOR ITEMS SUCH AS:

- ROOFING
- WALL FRAMING
- CEILINGS
- EXTERNAL WALL LININGS
- INTERNAL WALL LININGS
- INSULATION

SMOKE ALARMS & EXHAUST FANS
REFER TO SMOKE DETECTOR AND EXHAUST FAN LOCATIONS ON SHEETS 240 SERIES

GRID LINES ALIGN WITH REBATE/OUTER MOST STRUCTURAL PART OF WALL

REFER TO ALL JOINERY DETAILS ON SHEETS 800 SERIES

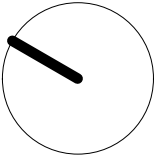
REFER TO ALL SHEET 110.10 FOR ALL SLAB SETDOWNS AND REBATE DETAILS

REFER TO SHEET 100.10 FOR CONSTRUCTION METHODOLOGY

ALL PARAPET WALLS MUST HAVE FC BACKING AND BE FLASHED AS REQUIRED

WORKING DRAWINGS

| REV | | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|--|--------------------|------------|----|------------------|---|
| D | | DARFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' / - / / |
| E | | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | |
| F | | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | |
| G | | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
| H | | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | |
| I | | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | SHEET NUMBER & NAME 200.00 GROUND FLOOR PLAN |
| J | | SITE ISSUE | 11.04.2023 | LX | | |
| K | | DRAFTING AMENDMENT | 09.05.2023 | AM | | |
| L | | DRAFTING AMENDMENT | 21.06.2023 | LX | | |



DEMO WALL LEGENDS

- DEMOLISHED
- PROPOSED NEW

| KEYNOTE LEGEND | |
|----------------|---|
| BL4.1 | TIMBER BALUSTRADING |
| BL5.1 | TIMBER FRAMED HALF HEIGHT WALL |
| BL10.2 | TIMBER HANDRAIL |
| DP1 | PVC DOWNPIPE |
| PF1.1 | POOL FENCE |
| TP1.1 | 90x90 HWD DRESSED TIMBER POST (STIRRUP FIXED) |
| WH000 | EXISTING WINDOW HOOD |

| AREA SUMMARY | |
|--------------|-------|
| UPPER FLOOR | 66 m² |
| LOWER FLOOR | 91 m² |
| DECK | 46 m² |
| PATIO | 13 m² |
| 216 m² | |

MARKETING NOTES

FURNITURE SHOWN PROOVES AS AN INDICATIVE LAYOUT. HOWEVER THIS SHOULD NOT BE USED AS A LITERAL GUIDE. CHECK SIZES TO ENSURE YOUR FURNITURE LAYOUT WILL WORK THE WAY YOU WANT IT.

FURNITURE IS NOT INCLUDED WITHIN BUILD CONTRACT

VEHICLES DO NOT COME APART OF THE PACKAGE

ROOM SIZES ARE NOT TO SCALE AND WHAT IS SHOWN DOES NOT ALLOW FOR TOLERANCE. FINAL PRODUCT MAY SLIGHTLY DIFFER.

PLAN NOTES

REFER TO SHEET 100.10 FOR CONSTRUCTION METHODOLOGY FOR ITEMS SUCH AS:

- ROOFING
- WALL FRAMING
- CEILINGS
- EXTERNAL WALL LININGS
- INTERNAL WALL LININGS
- INSULATION

SMOKE ALARMS & EXHAUST FANS
REFER TO SMOKE DETECTOR AND EXHAUST FAN LOCATIONS ON SHEETS 240 SERIES

GRID LINES ALIGN WITH REBATE/OUTER MOST STRUCTURAL PART OF WALL

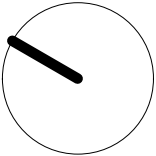
REFER TO ALL JOINERY DETAILS ON SHEETS 800 SERIES

REFER TO ALL SHEET 110.10 FOR ALL SLAB SETDOWNS AND REBATE DETAILS

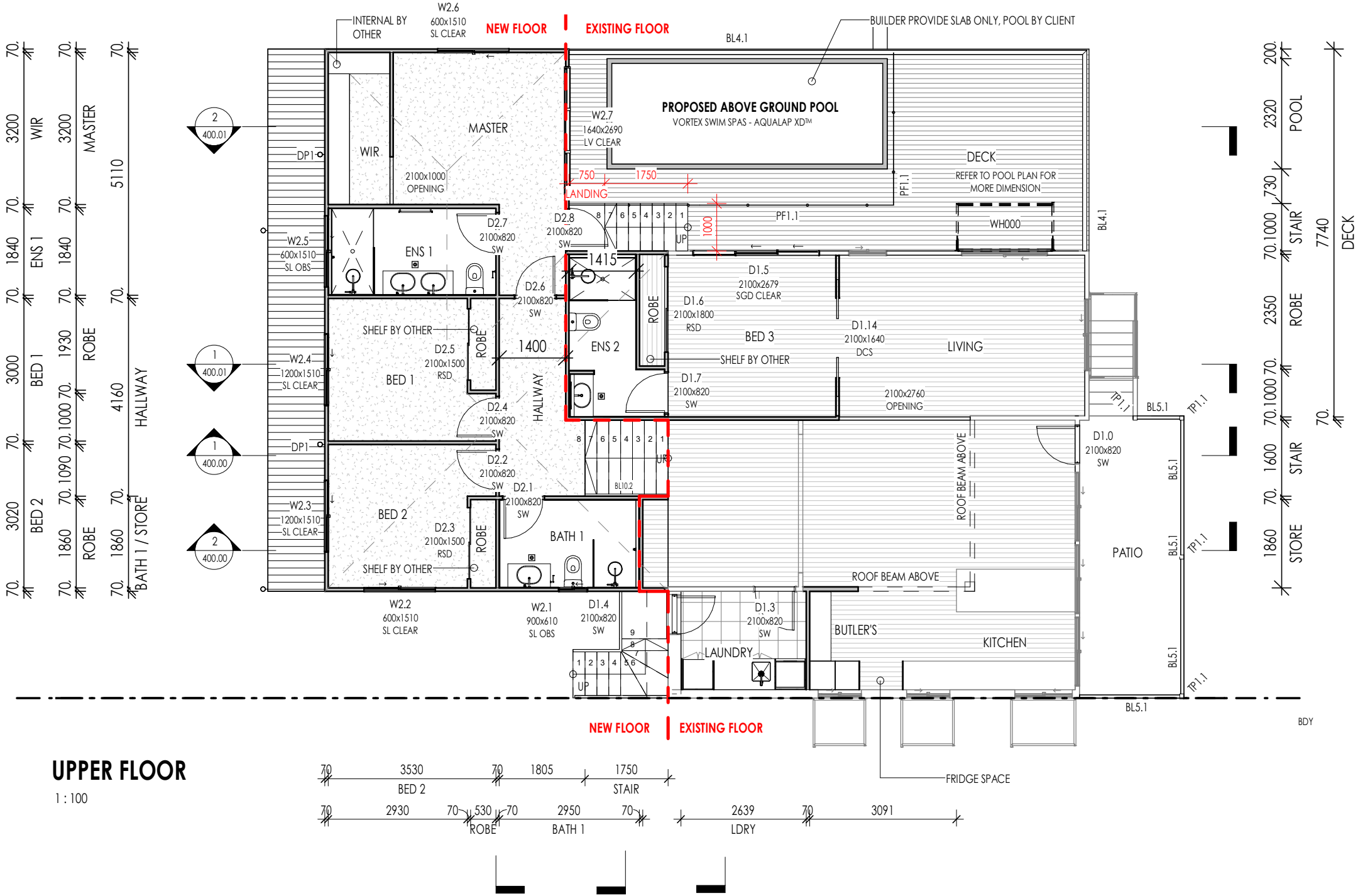
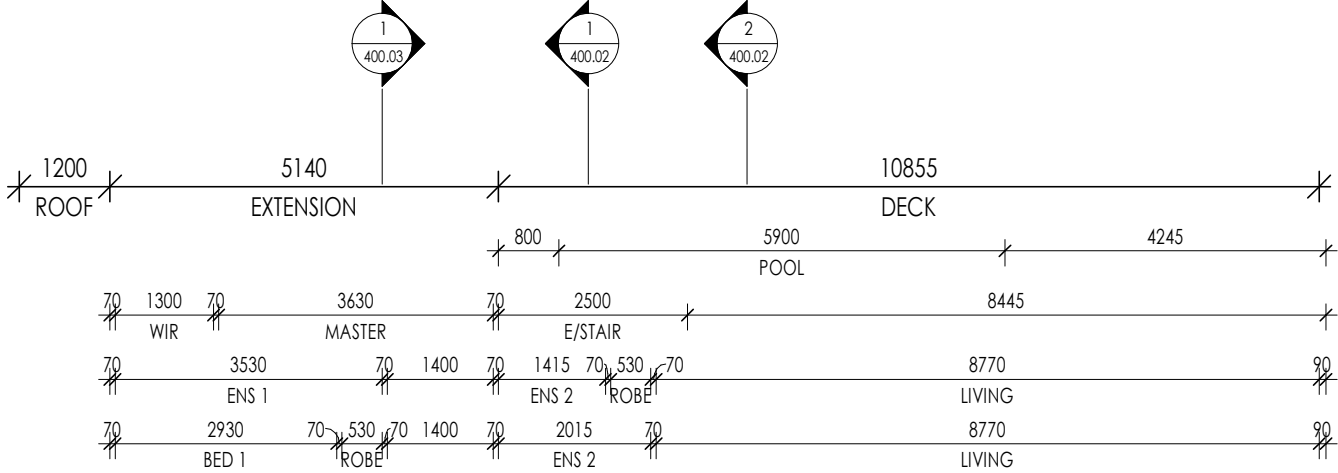
REFER TO SHEET 100.10 FOR CONSTRUCTION METHODOLOGY

ALL PARAPET WALLS MUST HAVE FC BACKING AND BE FLASHED AS REQUIRED

WORKING DRAWINGS



| | | | | | | | |
|--|--|-----|--------------------|------------|----|------------------------------|--|
| | | REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION 'PROPOSED EXTENSION' / - / SHEET NUMBER & NAME 200.10 FIRST FLOOR PLAN |
| | | D | DARFTING AMENDMENT | 15.01.2023 | AM | | |
| | | E | DRAFTING AMENDMENT | 02.02.2023 | LX | | |
| | | F | DRAFTING AMENDMENT | 07.02.2023 | LX | | |
| | | G | DETAIL APPROVAL | 07.02.2023 | AM | | |
| | | H | DETAIL APPROVAL | 15.03.2023 | AM | | |
| | | I | SITE ISSUE | 21.03.2023 | LX | | |
| | | J | SITE ISSUE | 11.04.2023 | LX | | |
| | | K | DRAFTING AMENDMENT | 09.05.2023 | AM | SUBURB / AUTHORITY: B.C.C | |
| | | L | DRAFTING AMENDMENT | 21.06.2023 | LX | | |



UPPER FLOOR

1 : 100



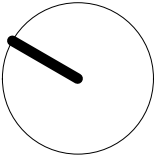
FLOOR COVERING

1 : 100

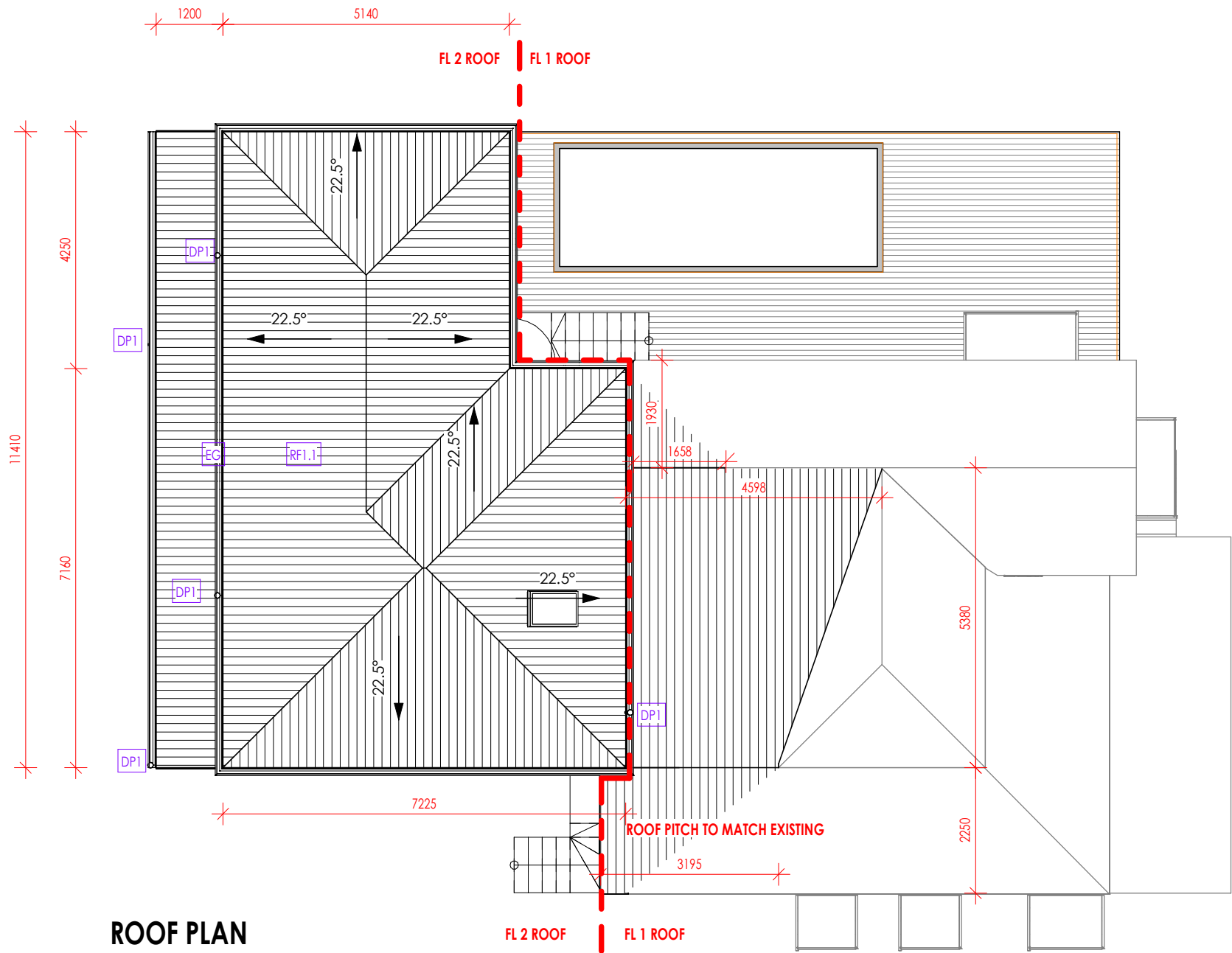
| ROOM AREAS | | | |
|------------|----------|----------------|----------------|
| LEVEL | NAME | AREA | PERIMETER |
| Not Placed | DINING | Not Placed | Not Placed |
| FL 1 | BATH 1 | 6 m² | 10 m |
| FL 1 | BED 1 | 10 m² | 13 m |
| FL 1 | BED 2 | 10 m² | 13 m |
| FL 1 | BED 3 | 12 m² | 13 m |
| FL 1 | BUTLER'S | 25 m² | 23 m |
| FL 1 | DECK | 32 m² | 35 m |
| FL 1 | ENS 1 | 7 m² | 11 m |
| FL 1 | ENS 2 | 6 m² | 14 m |
| FL 1 | HALLWAY | 7 m² | 12 m |
| FL 1 | KITCHEN | Redundant Room | Redundant Room |
| FL 1 | LAUNDRY | 6 m² | 9 m |
| FL 1 | LIVING | 18 m² | 17 m |
| FL 1 | MASTER | 15 m² | 18 m |
| FL 1 | PATIO | 13 m² | 16 m |
| FL 1 | ROBE | 1 m² | 5 m |
| FL 1 | ROBE | 1 m² | 5 m |
| FL 1 | ROBE | 1 m² | 6 m |
| FL 1 | Room | Redundant Room | Redundant Room |
| FL 1 | STORE | 14 m² | 17 m |
| FL 1 | WIR | 4 m² | 9 m |

WORKING DRAWINGS

| | | REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|--|--|-----|--------------------|------------|----|------------------|--------------------------|
| | | D | DRAFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' |
| | | E | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | / - / |
| | | F | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | / |
| | | G | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
| | | H | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | SHEET NUMBER & NAME |
| | | I | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | 200.20 FLOOR FINISH PLAN |
| | | J | SITE ISSUE | 11.04.2023 | LX | | |
| | | K | DRAFTING AMENDMENT | 09.05.2023 | AM | | |
| | | L | DRAFTING AMENDMENT | 21.06.2023 | LX | | |



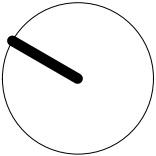
| KEYNOTE LEGEND | |
|----------------|---------------------|
| DP1 | PVC DOWNPIPE |
| EG | EAVES GUTTER |
| RF1.1 | METAL ROOF SHEETING |



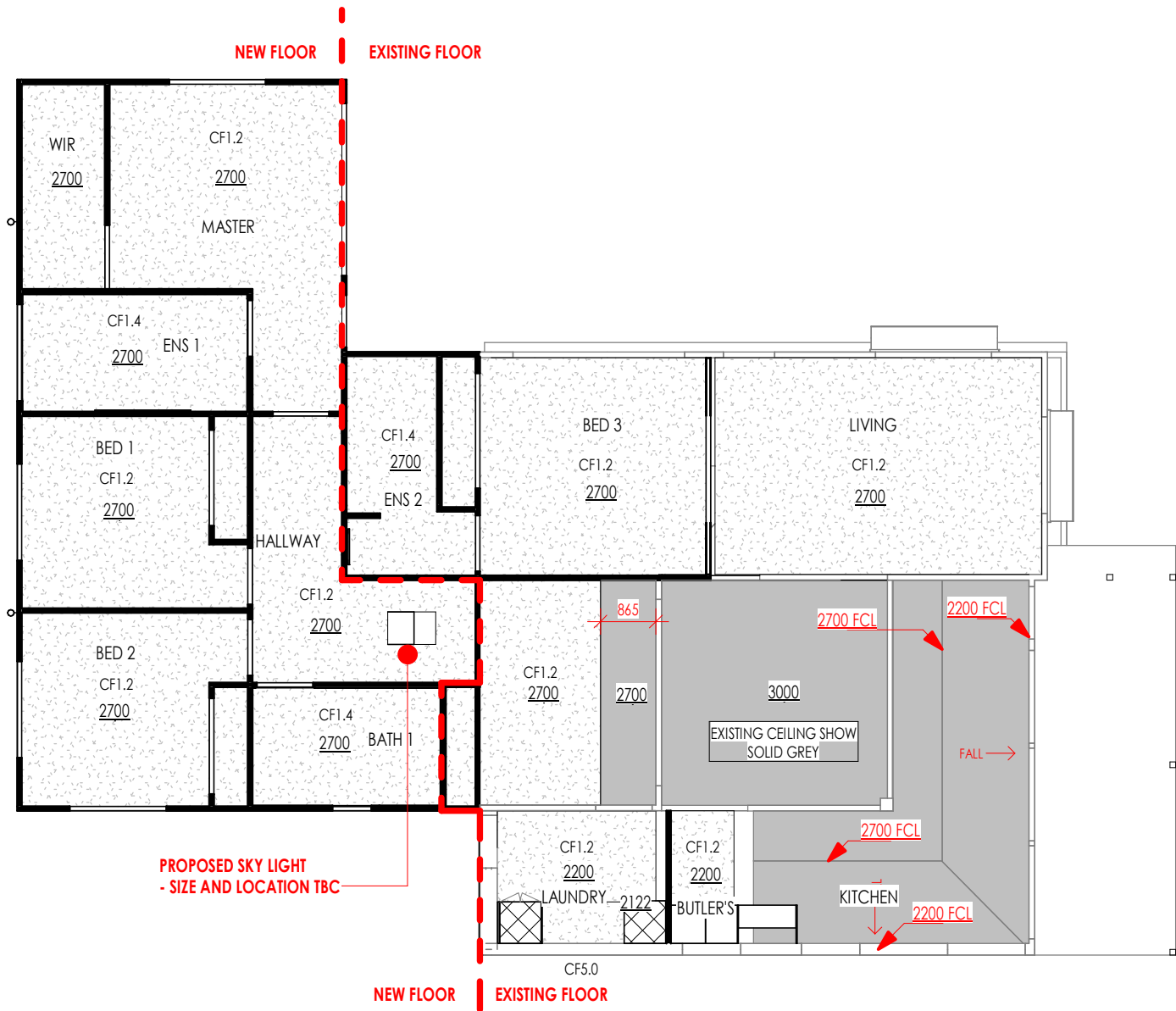
ROOF PLAN
1 : 100

WORKING DRAWINGS

| | | REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|--|--|-----|--------------------|------------|----|------------------|------------------------------------|
| | | D | DRAFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' |
| | | E | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | / - / |
| | | F | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | / |
| | | G | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
| | | H | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | |
| | | I | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | |
| | | J | SITE ISSUE | 11.04.2023 | LX | | |
| | | K | DRAFTING AMENDMENT | 09.05.2023 | AM | | SHEET NUMBER & NAME |
| | | L | DRAFTING AMENDMENT | 21.06.2023 | LX | | 200.30 ROOF & STORMWATER MANGAMENT |



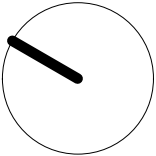
| KEYNOTE LEGEND | |
|----------------|---|
| CF1.2 | PLASTERBOARD CEILING - CORNICE |
| CF1.4 | WET AREA PLASTERBOARD CEILING - CORNICE |
| CF5.0 | BULKHEAD |

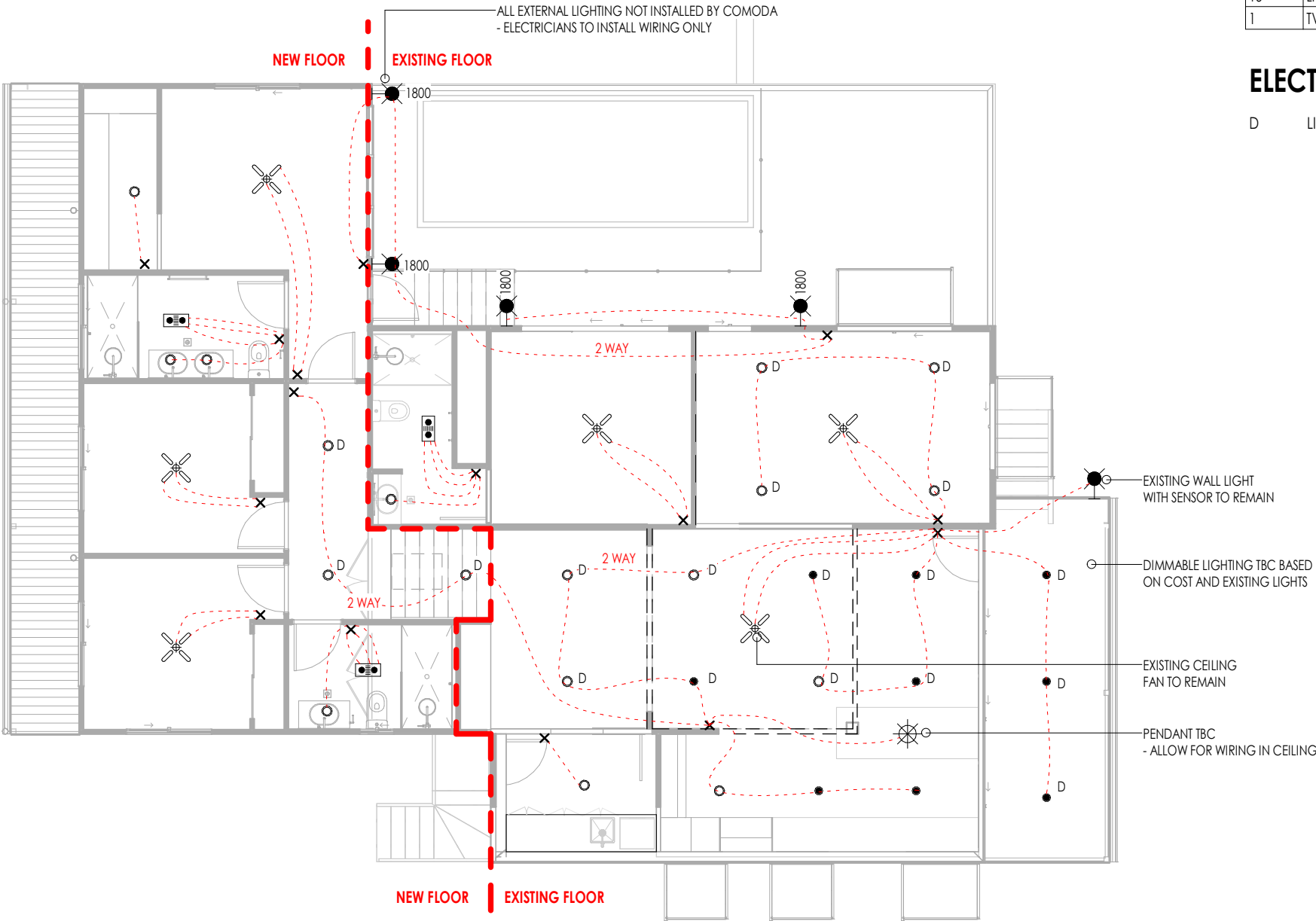


GROUND FLOOR - RCP FINISH
1 : 100

WORKING DRAWINGS

| REV | | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|--|--------------------|------------|----|------------------|--|
| D | | DARFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' / - / / |
| E | | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | |
| F | | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | |
| G | | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
| H | | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | |
| I | | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | SHEET NUMBER & NAME 220.00 RCP PLAN |
| J | | SITE ISSUE | 11.04.2023 | LX | | |
| K | | DRAFTING AMENDMENT | 09.05.2023 | AM | | |
| L | | DRAFTING AMENDMENT | 21.06.2023 | LX | | |





FIRST FLOOR - LIGHTING LAYOUT

1 : 100

| ELECTRICAL SCHEDULE | |
|---------------------|-----------------------------------|
| 6 | CEILING FAN (W/LIGHT) - INDOORS |
| 9 | EXISTING DOWNLIGHT |
| 1 | FEATURE LIGHT |
| 2 | FLURO - SINGLE |
| 26 | GPO DOUBLE |
| 2 | GPO DOUBLE (EXTERNAL) |
| 1 | GPO SINGLE |
| 3 | HEAT LAMP (2 LIGHTS) WITH EXHAUST |
| 18 | LED RECESSED DOWNLIGHT |
| 15 | LIGHT AND/FAN SWITCH |
| 1 | TV POINT |

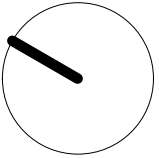
ELECTRICAL NOTES

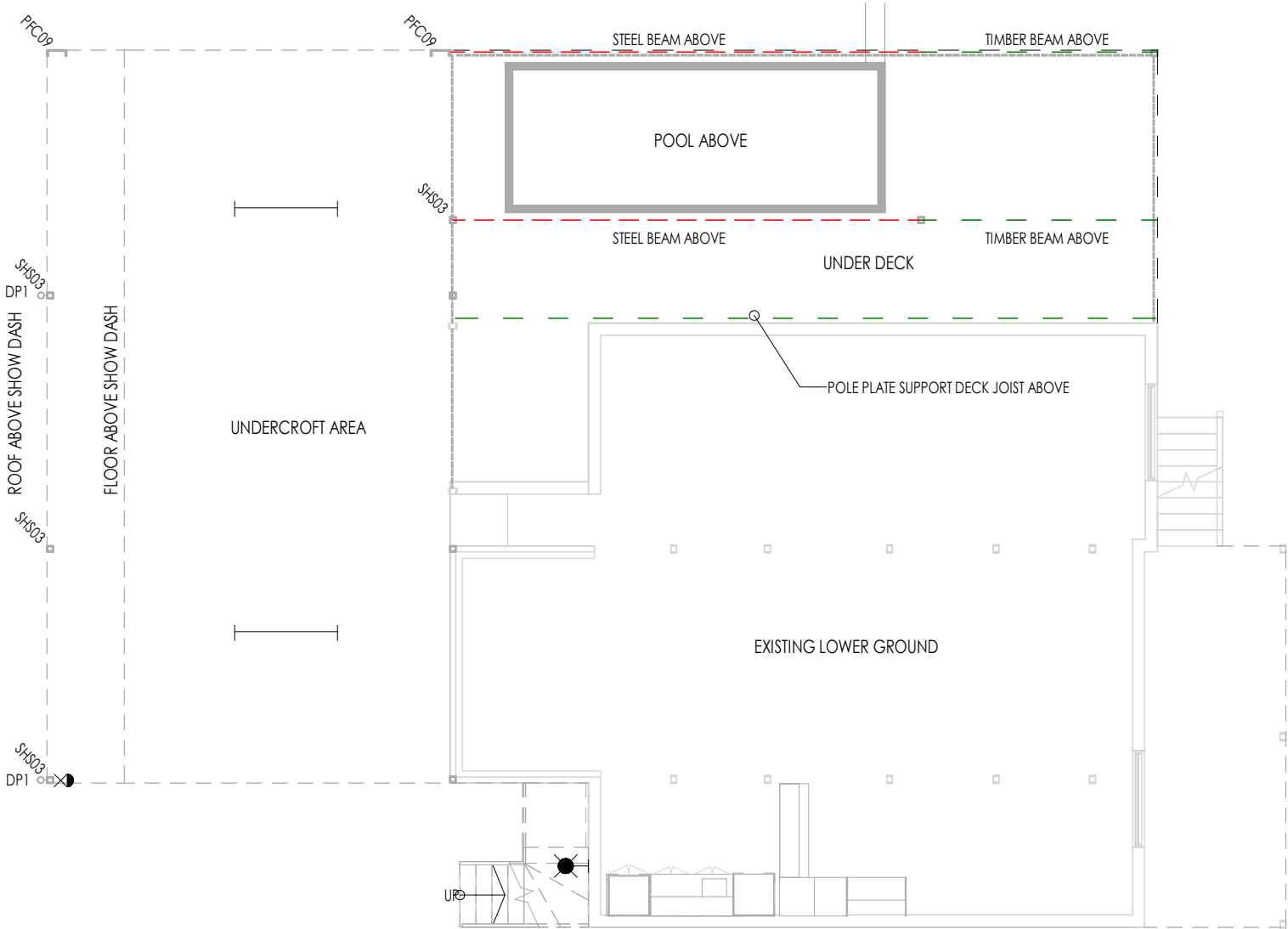
D LIGHT TO BE ON DIMMER

| ELECTRICAL LEGEND | |
|-------------------|--|
| | OUTDOOR CEILING FAN WITH LIGHT |
| | OUTDOOR CEILING FAN |
| | INDOOR CEILING FAN WITH LIGHT |
| | INDOOR CEILING FAN |
| | EXHAUST FAN |
| | 2 IN 1 EXHAUST FAN & LIGHT COMBO |
| | FEATURE LIGHT |
| | EXTERNAL SENSED LIGHT |
| | FLURO LIGHT - SINGLE |
| | FLURO LIGHT - DOUBLE |
| | RECESSED LED DOWN LIGHT |
| | EXISTING DOWN LIGHT |
| | WALL LIGHT (EXTERNAL) |
| | WALL LIGHT (INTERNAL) |
| | WALL MOUNTED STAIRS LIGHT |
| | RECESSED FLOOR LIGHT |
| | MULTIPLE RAIL SPOT LIGHT |
| | SINGLE RAIL LIGHT |
| | HEAT LAMPS (2 LIGHTS) |
| | 2-LIGHT HEAT LAMP COMBINATION WITH EXHAUST FAN |
| | 4-LIGHT HEAT LAMP COMBINATION WITH EXHAUST FAN AND LIGHT |
| | LIGHT AND FAN SWITCH(S) |
| | AIRCONDITIONING CONTROL PANEL |
| | SMOKE DETECTOR |
| | NBN DATA POINT |
| | TV COAXIAL POINT |
| | TELSTRA PHONE LINE |
| | SINGLE POWER POINT |
| | DOUBLE POWER POINT |
| | JUNCTION BOX |
| | METER BOX |
| | NETWORK TERMINATION DEVICE - GPO(S) REQ. |
| | NBN PREMISES CONNECTION DEVICE - GPO(S) EXT. REQ. |
| | INTERCOM WITH CAMERA |
| | SECURITY CAMERA |
| | AUDIO POINT |
| | AC OUTLET |

WORKING DRAWINGS

| REV | | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|--|--------------------|------------|----|------------------|--------------------------------|
| D | | DARFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' |
| E | | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | / - / |
| F | | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | / |
| G | | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
| H | | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | |
| I | | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | |
| J | | SITE ISSUE | 11.04.2023 | LX | | |
| K | | DRAFTING AMENDMENT | 09.05.2023 | AM | | |
| L | | DRAFTING AMENDMENT | 21.06.2023 | LX | | |
| | | | | | | SHEET NUMBER & NAME |
| | | | | | | 230.00 LIGHTING LAYOUT - FIRST |





| ELECTRICAL SCHEDULE | |
|---------------------|-----------------------------------|
| 6 | CEILING FAN (W/LIGHT) - INDOORS |
| 9 | EXISTING DOWNLIGHT |
| 1 | FEATURE LIGHT |
| 2 | FLURO - SINGLE |
| 26 | GPO DOUBLE |
| 2 | GPO DOUBLE (EXTERNAL) |
| 1 | GPO SINGLE |
| 3 | HEAT LAMP (2 LIGHTS) WITH EXHAUST |
| 18 | LED RECESSED DOWNLIGHT |
| 15 | LIGHT AND/FAN SWITCH |
| 1 | TV POINT |

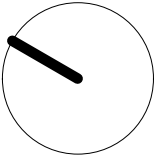
| ELECTRICAL LEGEND | |
|-------------------|--|
| | OUTDOOR CEILING FAN WITH LIGHT |
| | OUTDOOR CEILING FAN |
| | INDOOR CEILING FAN WITH LIGHT |
| | INDOOR CEILING FAN |
| | EXHAUST FAN |
| | 2 IN 1 EXHAUST FAN & LIGHT COMBO |
| | FEATURE LIGHT |
| | EXTERNAL SENSED LIGHT |
| | FLURO LIGHT - SINGLE |
| | FLURO LIGHT - DOUBLE |
| | RECESSED LED DOWN LIGHT |
| | EXISTING DOWN LIGHT |
| | WALL LIGHT (EXTERNAL) |
| | WALL LIGHT (INTERNAL) |
| | WALL MOUNTED STAIRS LIGHT |
| | RECESSED FLOOR LIGHT |
| | MULTIPLE RAIL SPOT LIGHT |
| | SINGLE RAIL LIGHT |
| | HEAT LAMPS (2 LIGHTS) |
| | 2-LIGHT HEAT LAMP COMBINATION WITH EXHAUST FAN |
| | 4-LIGHT HEAT LAMP COMBINATION WITH EXHAUST FAN AND LIGHT |
| | LIGHT AND FAN SWITCH(S) |
| | AIRCONDITIONING CONTROL PANEL |
| | SMOKE DETECTOR |
| | NBN DATA POINT |
| | TV COAXIAL POINT |
| | TELSTRA PHONE LINE |
| | SINGLE POWER POINT |
| | DOUBLE POWER POINT |
| | JUNCTION BOX |
| | METER BOX |
| | NETWORK TERMINATION DEVICE - GPO(S) REQ. |
| | NBN PREMISES CONNECTION DEVICE - GPO(S) EXT. REQ. |
| | INTERCOM WITH CAMERA |
| | SECURITY CAMERA |
| | AUDIO POINT |
| | AC OUTLET |

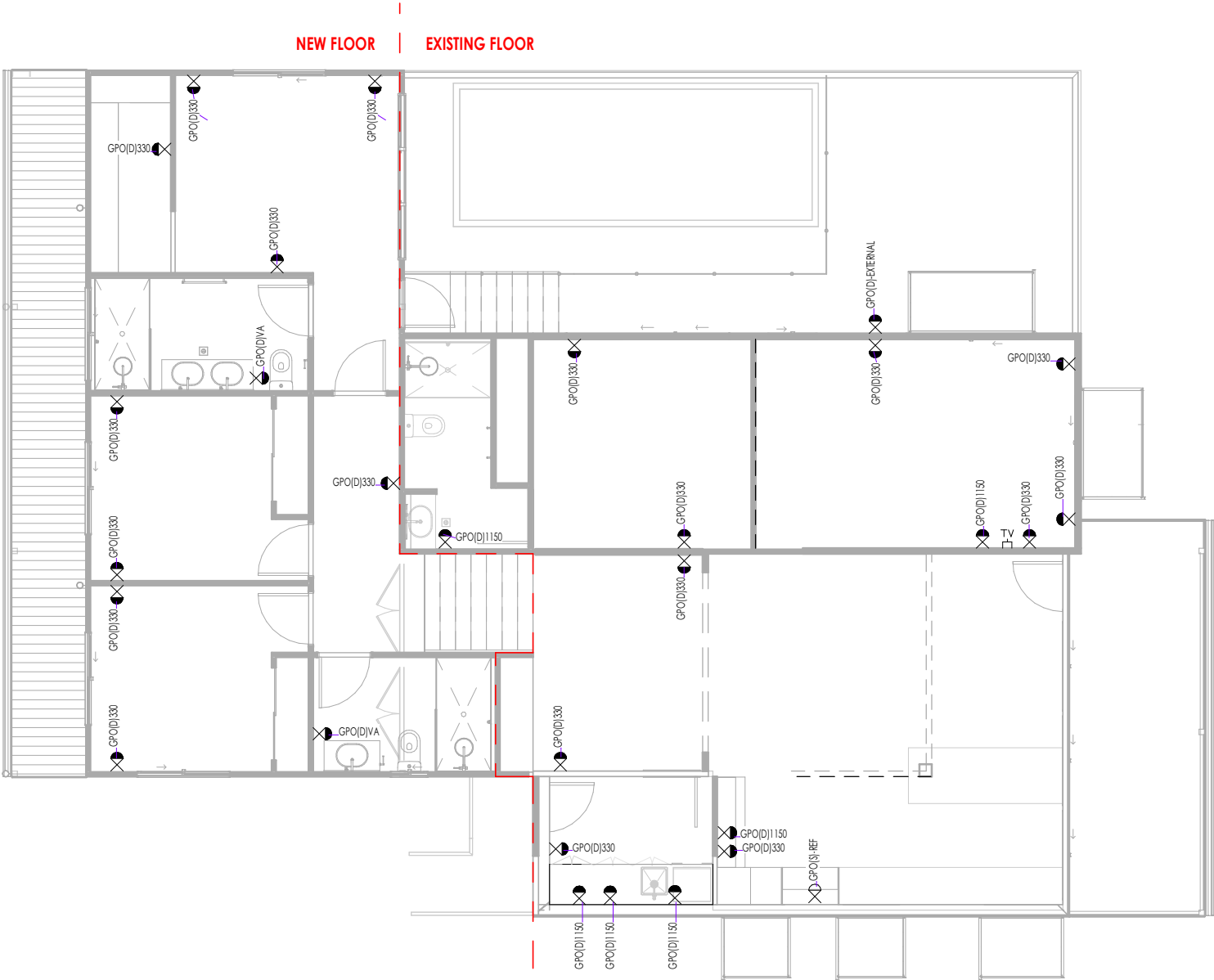
GROUND FLOOR - ELECTRICAL LAYOUT

1 : 100

WORKING DRAWINGS

| REV | | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|--|--------------------|------------|----|------------------|--|
| D | | DARFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' / - / / |
| E | | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | |
| F | | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | |
| G | | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
| H | | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | |
| I | | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | SHEET NUMBER & NAME 230.10 LIGHTING LAYOUT - GROUND |
| J | | SITE ISSUE | 11.04.2023 | LX | | |
| K | | DRAFTING AMENDMENT | 09.05.2023 | AM | | |
| L | | DRAFTING AMENDMENT | 21.06.2023 | LX | | |





| ELECTRICAL SCHEDULE | |
|---------------------|-----------------------------------|
| 6 | CEILING FAN (W/LIGHT) - INDOORS |
| 9 | EXISTING DOWNLIGHT |
| 1 | FEATURE LIGHT |
| 2 | FLURO - SINGLE |
| 26 | GPO DOUBLE |
| 2 | GPO DOUBLE (EXTERNAL) |
| 1 | GPO SINGLE |
| 3 | HEAT LAMP (2 LIGHTS) WITH EXHAUST |
| 18 | LED RECESSED DOWNLIGHT |
| 15 | LIGHT AND/FAN SWITCH |
| 1 | TV POINT |

| ELECTRICAL LEGEND | |
|-------------------|--|
| | OUTDOOR CEILING FAN WITH LIGHT |
| | OUTDOOR CEILING FAN |
| | INDOOR CEILING FAN WITH LIGHT |
| | INDOOR CEILING FAN |
| | EXHAUST FAN |
| | 2 IN 1 EXHAUST FAN & LIGHT COMBO |
| | FEATURE LIGHT |
| | EXTERNAL SENSED LIGHT |
| | FLURO LIGHT - SINGLE |
| | FLURO LIGHT - DOUBLE |
| | RECESSED LED DOWN LIGHT |
| | EXISTING DOWN LIGHT |
| | WALL LIGHT (EXTERNAL) |
| | WALL LIGHT (INTERNAL) |
| | WALL MOUNTED STAIRS LIGHT |
| | RECESSED FLOOR LIGHT |
| | MULTIPLE RAIL SPOT LIGHT |
| | SINGLE RAIL LIGHT |
| | HEAT LAMPS (2 LIGHTS) |
| | 2-LIGHT HEAT LAMP COMBINATION WITH EXHAUST FAN |
| | 4-LIGHT HEAT LAMP COMBINATION WITH EXHAUST FAN AND LIGHT |
| | LIGHT AND FAN SWITCH(S) |
| | AIRCONDITIONING CONTROL PANEL |
| | SMOKE DETECTOR |
| | NBN DATA POINT |
| | TV COAXIAL POINT |
| | TELSTRA PHONE LINE |
| | SINGLE POWER POINT |
| | DOUBLE POWER POINT |
| | JUNCTION BOX |
| | METER BOX |
| | NETWORK TERMINATION DEVICE - GPO(S) REQ. |
| | NBN PREMISES CONNECTION DEVICE - GPO(S) EXT. REQ. |
| | INTERCOM WITH CAMERA |
| | SECURITY CAMERA |
| | AUDIO POINT |
| | AC OUTLET |

FIRST FLOOR - ELECTRICAL LAYOUT

1 : 100

WORKING DRAWINGS

| REV | | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|--|--------------------|------------|----|------------------|----------------------|
| D | | DRAFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' |
| E | | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | / - / |
| F | | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | / |
| G | | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
| H | | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | |
| I | | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | |
| J | | SITE ISSUE | 11.04.2023 | LX | | |
| K | | DRAFTING AMENDMENT | 09.05.2023 | AM | | |
| L | | DRAFTING AMENDMENT | 21.06.2023 | LX | | |

SHEET NUMBER & NAME
240.00 ELECTRICAL LAYOUT - FIRST

| KEYNOTE LEGEND | |
|----------------|---------------------|
| BL4.1 | TIMBER BALUSTRADING |
| RF1.1 | METAL ROOF SHEETING |
| WF28.2 | EXISTING CLADDING |

ELEVATION NOTES

REFER TO SHEET 100.10 FOR CONSTRUCTION METHODOLOGY FOR ITEMS SUCH AS:

- ROOFING
- WALL FRAMING
- CEILINGS
- EXTERNAL WALL LININGS
- INTERNAL WALL LININGS
- INSULATION

WINDOW SCHEDULE ON SHEET 500 SERIES INDICATES WHICH WINDOWS REQUIRE SCREENING OR GLAZING TREATMENT TO MEET PRIVACY REQUIREMENTS

ALL LIGHTWEIGHT CLADDING TO BE DIRECT FIXED UNO

ALL UNTREATED TIMBERS USED IN ROOF FRAMING ARE TO BE FULLY CONCEALED BY CLADDING

CEILING AND SOFFIT FIXED USING 70x35mm TIMBER BATTENS UNO

CODES USED FOR FINISHES ARE ELLOBORATED MORE IN DETAIL IN THE FINISH SCHEDULES

FLASHING WHERE VISIBLE FROM GROUND MUST MATCH OR CONTRAST WALL UNO. REFER TO FINISH SCHEDULE FOR CONFIRMATION

SLAB AND FOOTINGS AS PER ENGINEERS DETAILS

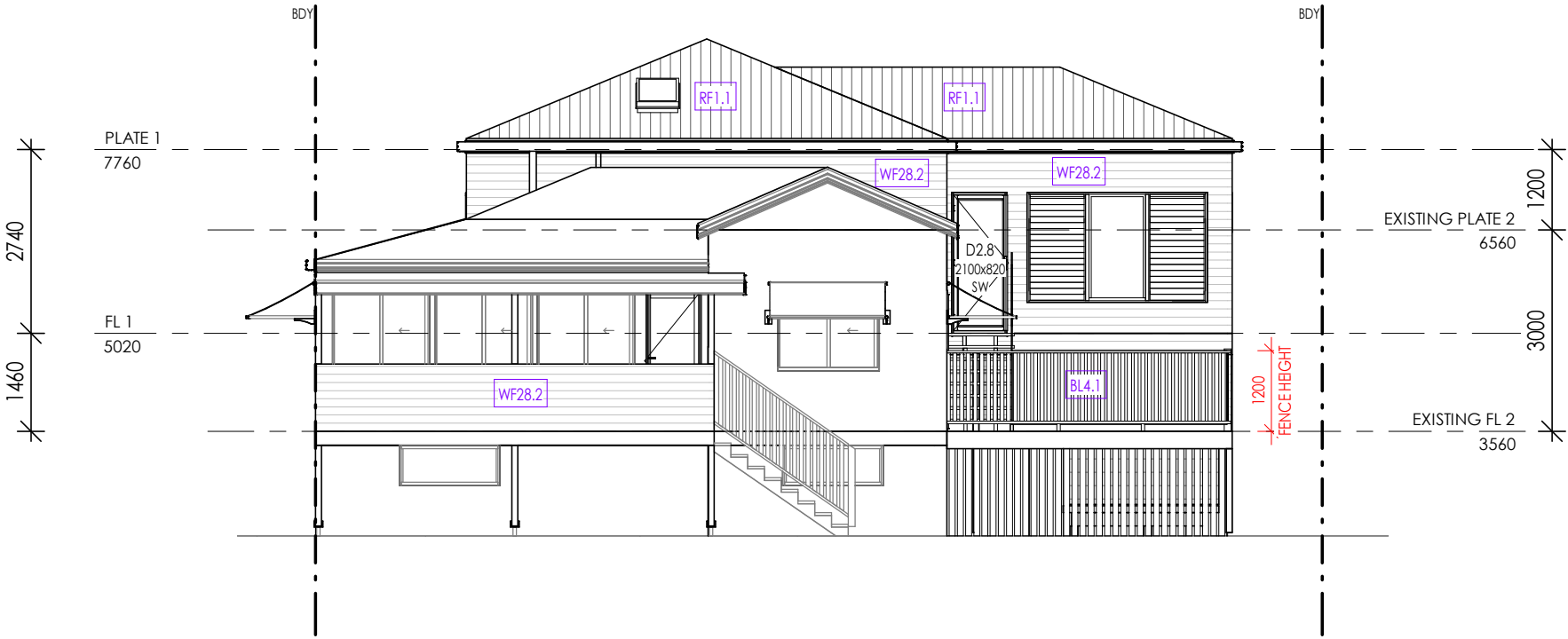
ALL PARAPET WALLS MUST HAVE FC BACKING AND BE FLASHED AS REQUIRED

INTERNAL WET AREAS
ALL WET AREAS TO COMPLY WITH NCC 3.8.1.2 & AS 3740 - 2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS

ALL NEW EXTERNAL CLADDING TO MATCH WITH EXISTING

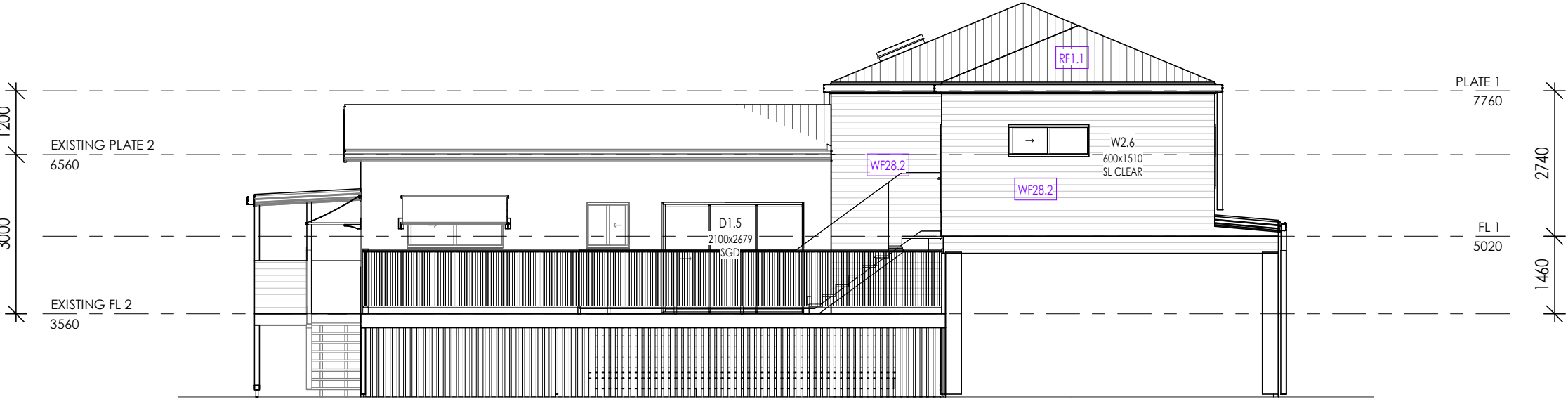
EXISTING CLADDING WHERE REQUIRED REPAIR OR REPLACE TO BE MATCH WITH EXISTING

CLADDING: JAMES HARDIE - PRIMELINE CHAMFER BOARD



FRONT ELEVATION (EAST)

1 : 100



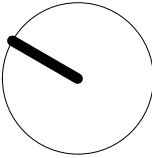
SIDE (R) ELEVATION (NORTH)

1 : 100

ABOVE NATURAL GROUND LINES INDICATED IS NOT A TRUE REPRESENTATION OF ITS CUT LOCATION. REFER TO SHEET 350.00 & SHEET 400 SERIES FOR A TRUE REPRESENTATION OF ABOVE NATURAL GROUND HEIGHTS

WORKING DRAWINGS

| REV | | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|--|--------------------|------------|----|------------------|--|
| D | | DARFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' |
| E | | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | / - / |
| F | | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | / |
| G | | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
| H | | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | |
| I | | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | |
| J | | SITE ISSUE | 11.04.2023 | LX | | |
| K | | DRAFTING AMENDMENT | 09.05.2023 | AM | | |
| L | | DRAFTING AMENDMENT | 21.06.2023 | LX | | |
| | | | | | | SHEET NUMBER & NAME 300.00 ELEVATIONS |



| KEYNOTE LEGEND | |
|----------------|---------------------|
| RF1.1 | METAL ROOF SHEETING |
| WF28.2 | EXISTING CLADDING |

ELEVATION NOTES

REFER TO SHEET 100.10 FOR CONSTRUCTION METHODOLOGY FOR ITEMS SUCH AS:

- ROOFING
- WALL FRAMING
- CEILINGS
- EXTERNAL WALL LININGS
- INTERNAL WALL LININGS
- INSULATION

WINDOW SCHEDULE ON SHEET 500 SERIES INDICATES WHICH WINDOWS REQUIRE SCREENING OR GLAZING TREATMENT TO MEET PRIVACY REQUIREMENTS

ALL LIGHTWEIGHT CLADDING TO BE DIRECT FIXED UNO

ALL UNTREATED TIMBERS USED IN ROOF FRAMING ARE TO BE FULLY CONCEALED BY CLADDING

CEILING AND SOFFIT FIXED USING 70x35mm TIMBER BATTENS UNO

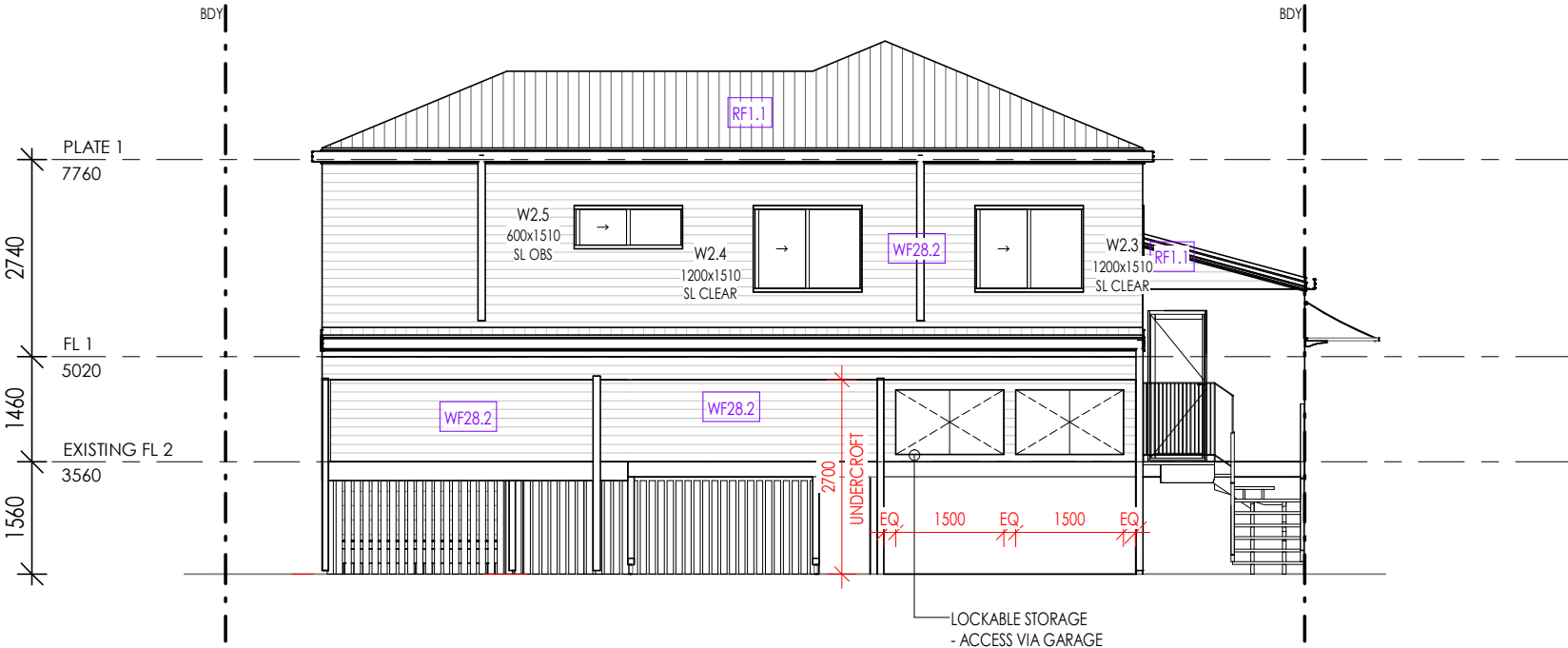
CODES USED FOR FINISHES ARE ELLOBORATED MORE IN DETAIL IN THE FINISH SCHEDULES

FLASHING WHERE VISIBLE FROM GROUND MUST MATCH OR CONTRAST WALL UNO. REFER TO FINISH SCHEDULE FOR CONFIRMATION

SLAB AND FOOTINGS AS PER ENGINEERS DETAILS

ALL PARAPET WALLS MUST HAVE FC BACKING AND BE FLASHED AS REQUIRED

INTERNAL WET AREAS
ALL WET AREAS TO COMPLY WITH NCC 3.8.1.2 & AS 3740 - 2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS



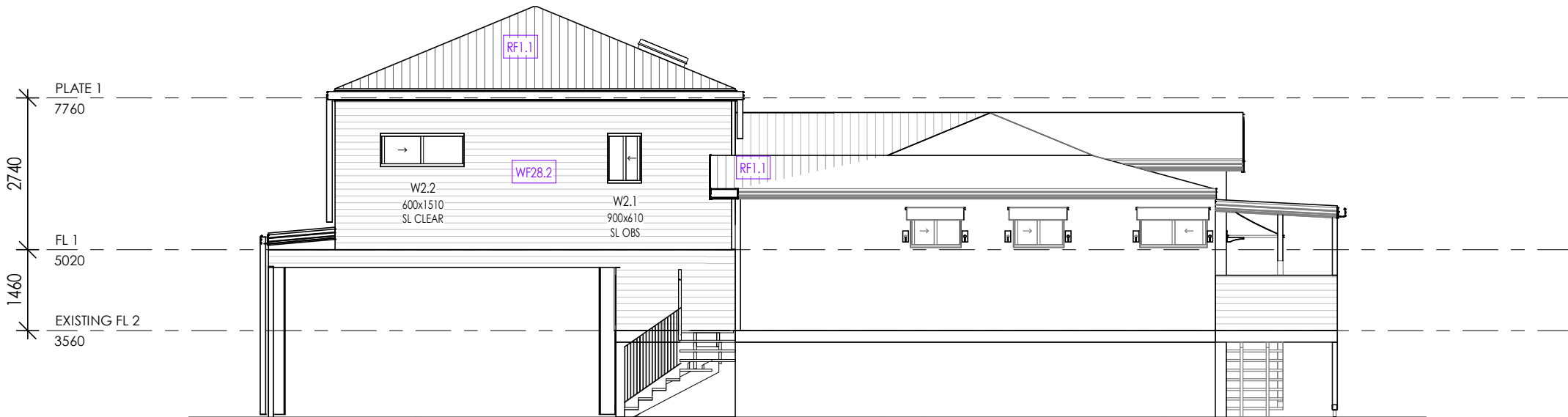
REAR ELEVATION (WEST)

1 : 100

ALL NEW EXTERNAL CLADDING TO MATCH WITH EXISTING

EXISTING CLADDING WHERE REQUIRED REPAIR OR REPLACE TO BE MATCH WITH EXISTING

CLADDING: JAMES HARDIE - PRIMELINE WEATHERBOARD



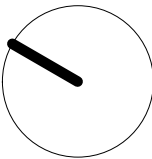
SIDE (L) ELEVATION (SOUTH)

1 : 100

WORKING DRAWINGS

ABOVE NATURAL GROUND LINES INDICATED IS NOT A TRUE REPRESENTATION OF ITS CUT LOCATION. REFER TO SHEET 350.00 & SHEET 400 SERIES FOR A TRUE REPRESENTATION OF ABOVE NATURAL GROUND HEIGHTS

| REV | | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|--|--------------------|------------|----|---------------------|----------------------|
| D | | DRAFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' |
| E | | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | / - / |
| F | | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | / |
| G | | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
| H | | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | |
| I | | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | |
| J | | SITE ISSUE | 11.04.2023 | LX | | |
| K | | DRAFTING AMENDMENT | 09.05.2023 | AM | | |
| L | | DRAFTING AMENDMENT | 21.06.2023 | LX | | |
| | | | | | SHEET NUMBER & NAME | |
| | | | | | 300.01 | ELEVATIONS |





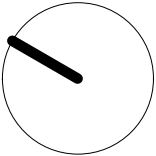
FRONT LEFT PERSPECTIVE



BACK LEFT PERSPECTIVE

WORKING DRAWINGS

| | | | | | | | |
|--|--|-----|--------------------|------------|----|-------------------------------|----------------------|
| | | REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
| | | D | DRAFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' |
| | | E | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | / - / |
| | | F | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | / |
| | | G | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
| | | H | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | |
| | | I | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | |
| | | J | SITE ISSUE | 11.04.2023 | LX | | |
| | | K | DRAFTING AMENDMENT | 09.05.2023 | AM | | |
| | | L | DRAFTING AMENDMENT | 21.06.2023 | LX | | |
| | | | | | | SHEET NUMBER & NAME | |
| | | | | | | 310.00 PERSPECTIVE ELEVATIONS | |





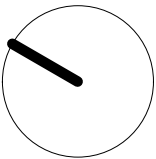
FRONT RIGHT PERSPECTIVE



BACK RIGHT PERSPECTIVE

WORKING DRAWINGS

| | | REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|--|--|-----|--------------------|------------|----|---------------------|-------------------------------|
| | | D | DRAFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' |
| | | E | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | / - / |
| | | F | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | / |
| | | G | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
| | | H | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | |
| | | I | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | |
| | | J | SITE ISSUE | 11.04.2023 | LX | | |
| | | K | DRAFTING AMENDMENT | 09.05.2023 | AM | | |
| | | L | DRAFTING AMENDMENT | 21.06.2023 | LX | | |
| | | | | | | SHEET NUMBER & NAME | 310.01 PERSPECTIVE ELEVATIONS |



KEYNOTE LEGEND

ELEVATION NOTES

REFER TO SHEET 100.10 FOR CONSTRUCTION METHODOLOGY FOR ITEMS SUCH AS:

- ROOFING
- WALL FRAMING
- CEILINGS
- EXTERNAL WALL LININGS
- INTERNAL WALL LININGS
- INSULATION

WINDOW SCHEDULE ON SHEET 500 SERIES INDICATES WHICH WINDOWS REQUIRE SCREENING OR GLAZING TREATMENT TO MEET PRIVACY REQUIREMENTS

ALL LIGHTWEIGHT CLADDING TO BE DIRECT FIXED UNO

ALL UNTREATED TIMBERS USED IN ROOF FRAMING ARE TO BE FULLY CONCEALED BY CLADDING

CEILING AND SOFFIT FIXED USING 70x35mm TIMBER BATTENS UNO

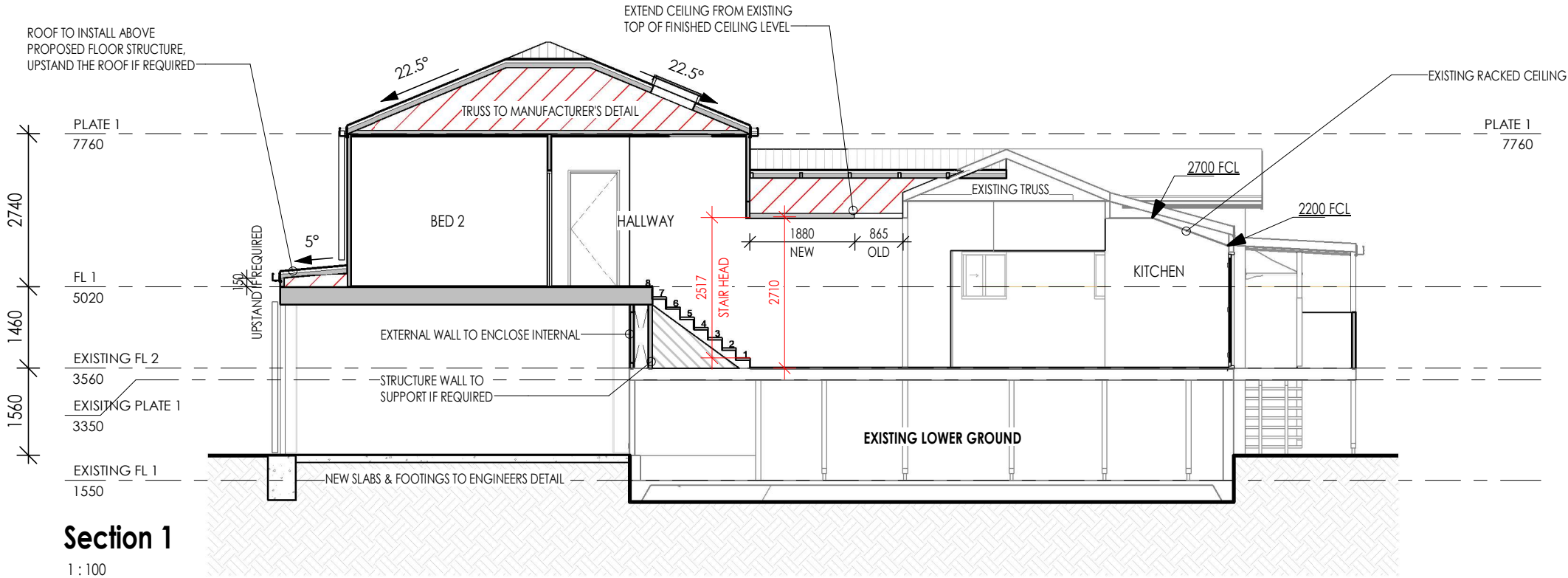
CODES USED FOR FINISHES ARE ELLOBORATED MORE IN DETAIL IN THE FINISH SCHEDULES

FLASHING WHERE VISIBLE FROM GROUND MUST MATCH OR CONTRAST WALL UNO. REFER TO FINISH SCHEDULE FOR CONFIRMATION

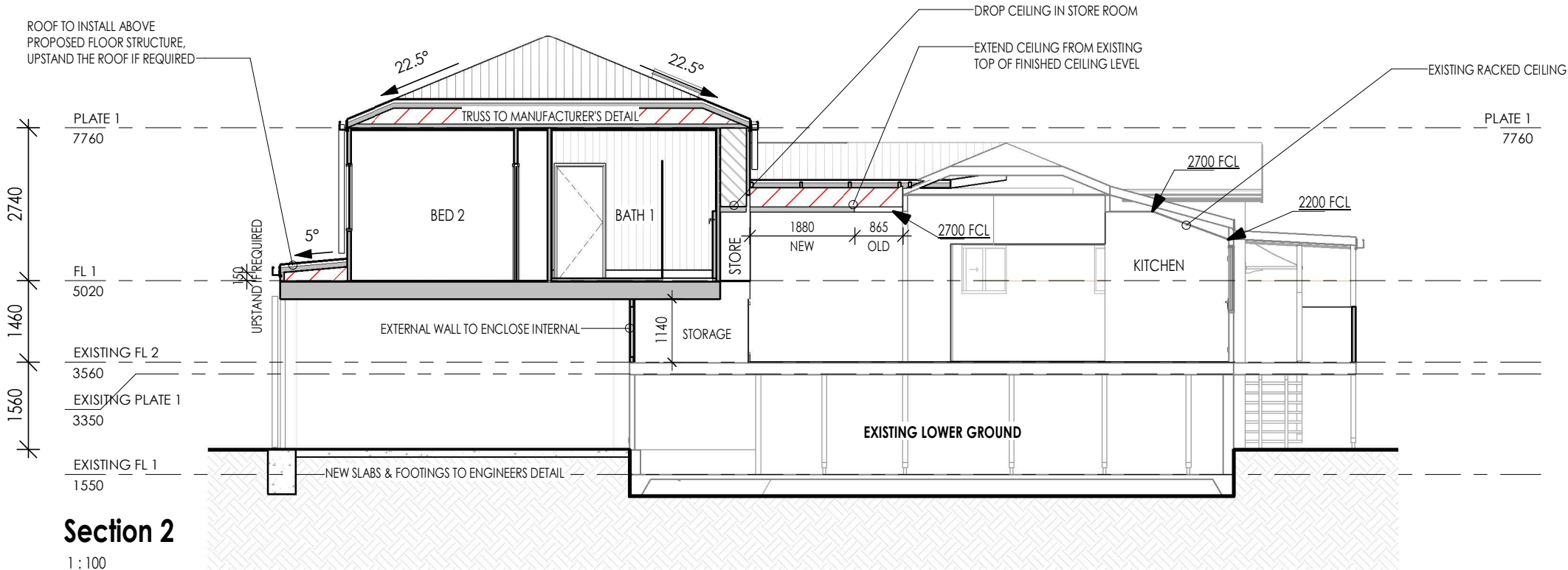
SLAB AND FOOTINGS AS PER ENGINEERS DETAILS

ALL PARAPET WALLS MUST HAVE FC BACKING AND BE FLASHED AS REQUIRED

INTERNAL WET AREAS
ALL WET AREAS TO COMPLY WITH NCC 3.8.1.2 & AS 3740 - 2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS



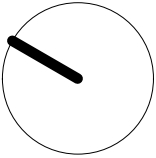
Section 1
1 : 100



Section 2
1 : 100

WORKING DRAWINGS

| REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|--------------------|------------|----|------------------|--|
| D | DRAFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' / - / / |
| E | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | |
| F | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | |
| G | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
| H | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | |
| I | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | SHEET NUMBER & NAME 400.00 SECTIONS |
| J | SITE ISSUE | 11.04.2023 | LX | | |
| K | DRAFTING AMENDMENT | 09.05.2023 | AM | | |
| L | DRAFTING AMENDMENT | 21.06.2023 | LX | | |



KEYNOTE LEGEND

ELEVATION NOTES

REFER TO SHEET 100.10 FOR CONSTRUCTION METHODOLOGY FOR ITEMS SUCH AS:

- ROOFING
- WALL FRAMING
- CEILINGS
- EXTERNAL WALL LININGS
- INTERNAL WALL LININGS
- INSULATION

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ALL LIGHTWEIGHT CLADDING TO BE DIRECT FIXED UNO

ALL UNTREATED TIMBERS USED IN ROOF FRAMING ARE TO BE FULLY CONCEALED BY CLADDING

CEILING AND SOFFIT FIXED USING 70x35mm TIMBER BATTENS UNO

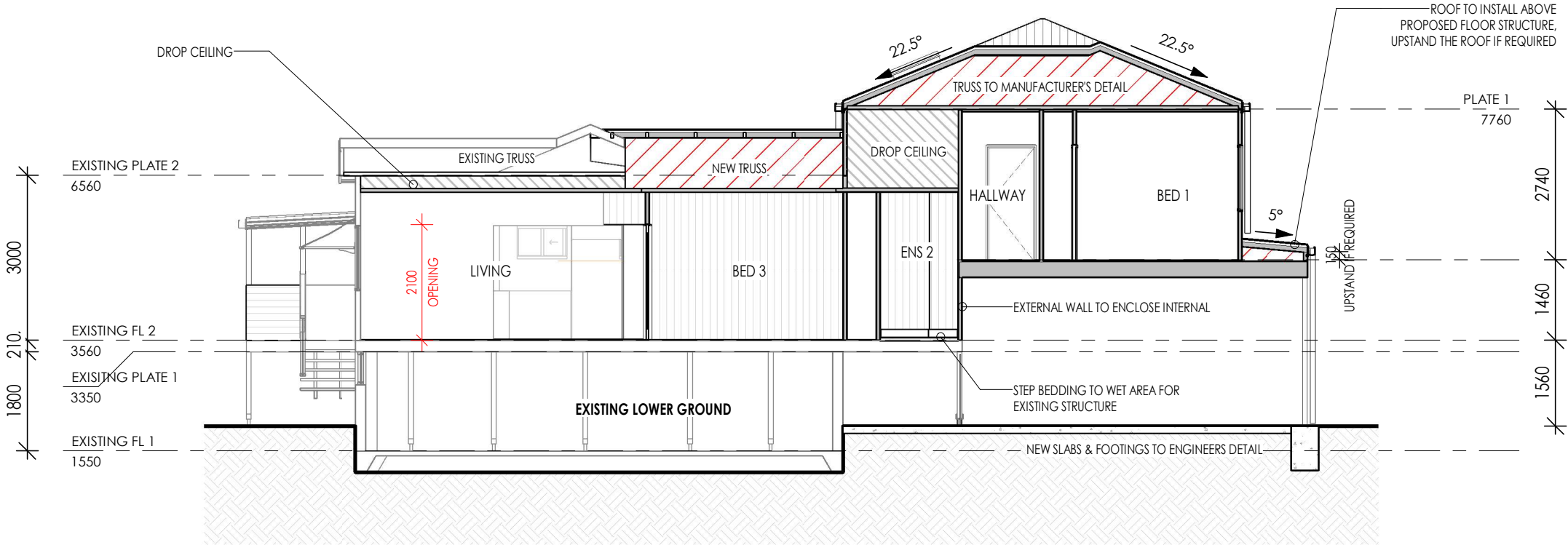
CODES USED FOR FINISHES ARE ELLOBORATED MORE IN DETAIL IN THE FINISH SCHEDULES

FLASHING WHERE VISIBLE FROM GROUND MUST MATCH OR CONTRAST WALL UNO. REFER TO FINISH SCHEDULE FOR CONFIRMATION

SLAB AND FOOTINGS AS PER ENGINEERS DETAILS

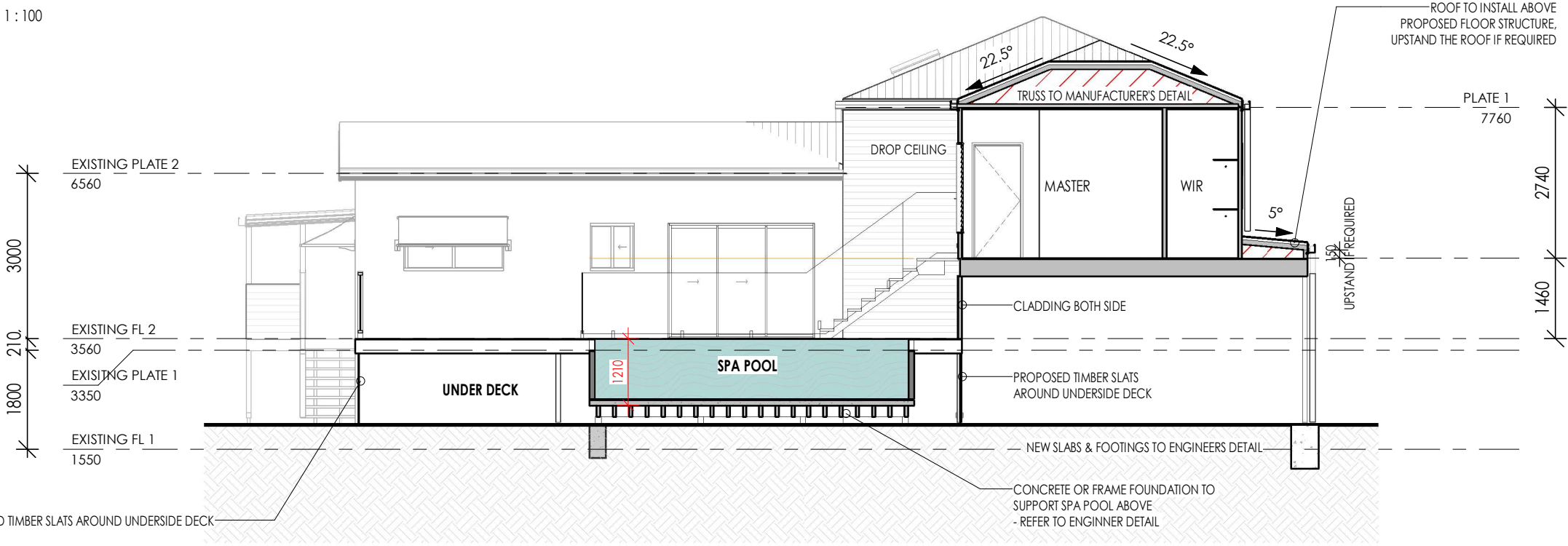
ALL PARAPET WALLS MUST HAVE FC BACKING AND BE FLASHED AS REQUIRED

INTERNAL WET AREAS
ALL WET AREAS TO COMPLY WITH NCC 3.8.1.2 & AS 3740 - 2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS



Section 3

1 : 100



Section 4

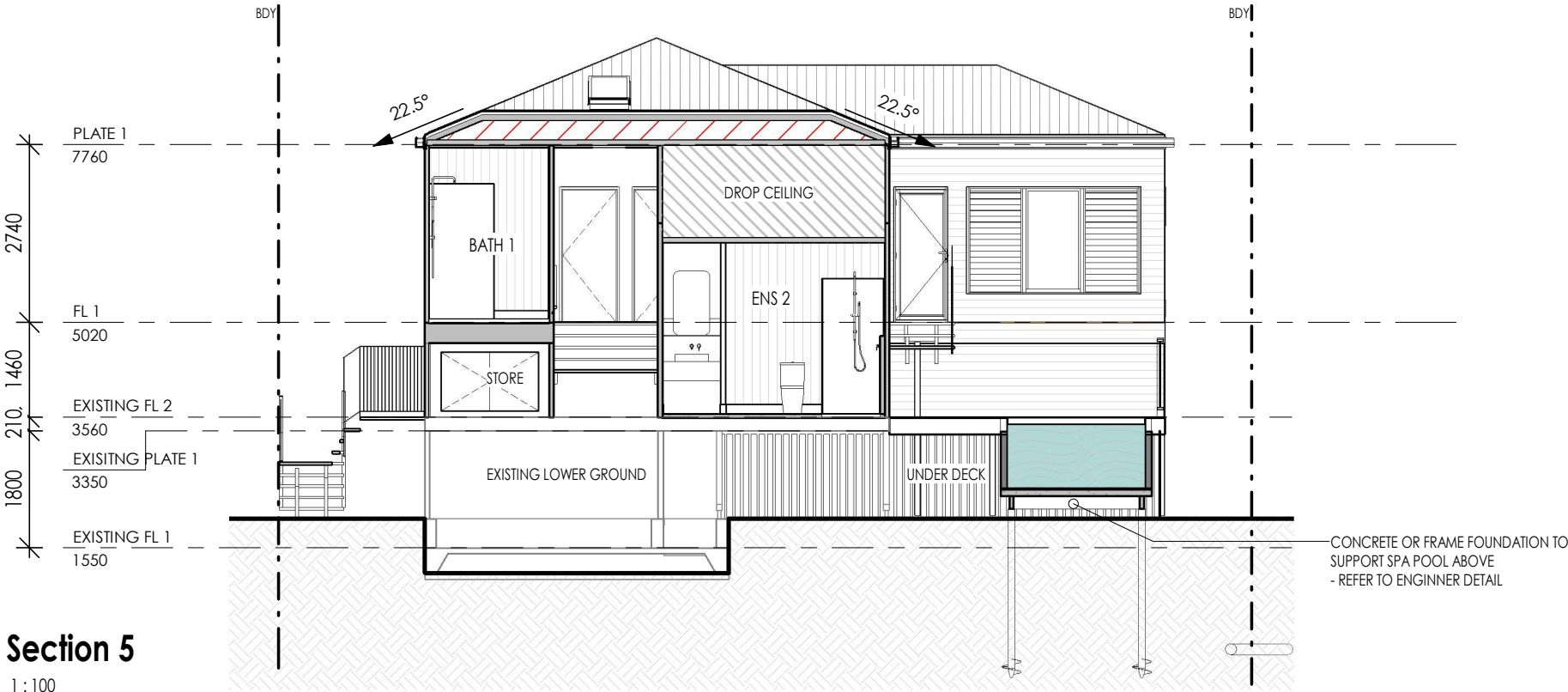
1 : 100

WORKING DRAWINGS

| REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|--------------------|------------|----|------------------|----------------------|
| D | DRAFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' |
| E | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | / - / |
| F | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | / |
| G | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
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| I | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | |
| J | SITE ISSUE | 11.04.2023 | LX | | |
| K | DRAFTING AMENDMENT | 09.05.2023 | AM | | |
| L | DRAFTING AMENDMENT | 21.06.2023 | LX | | |

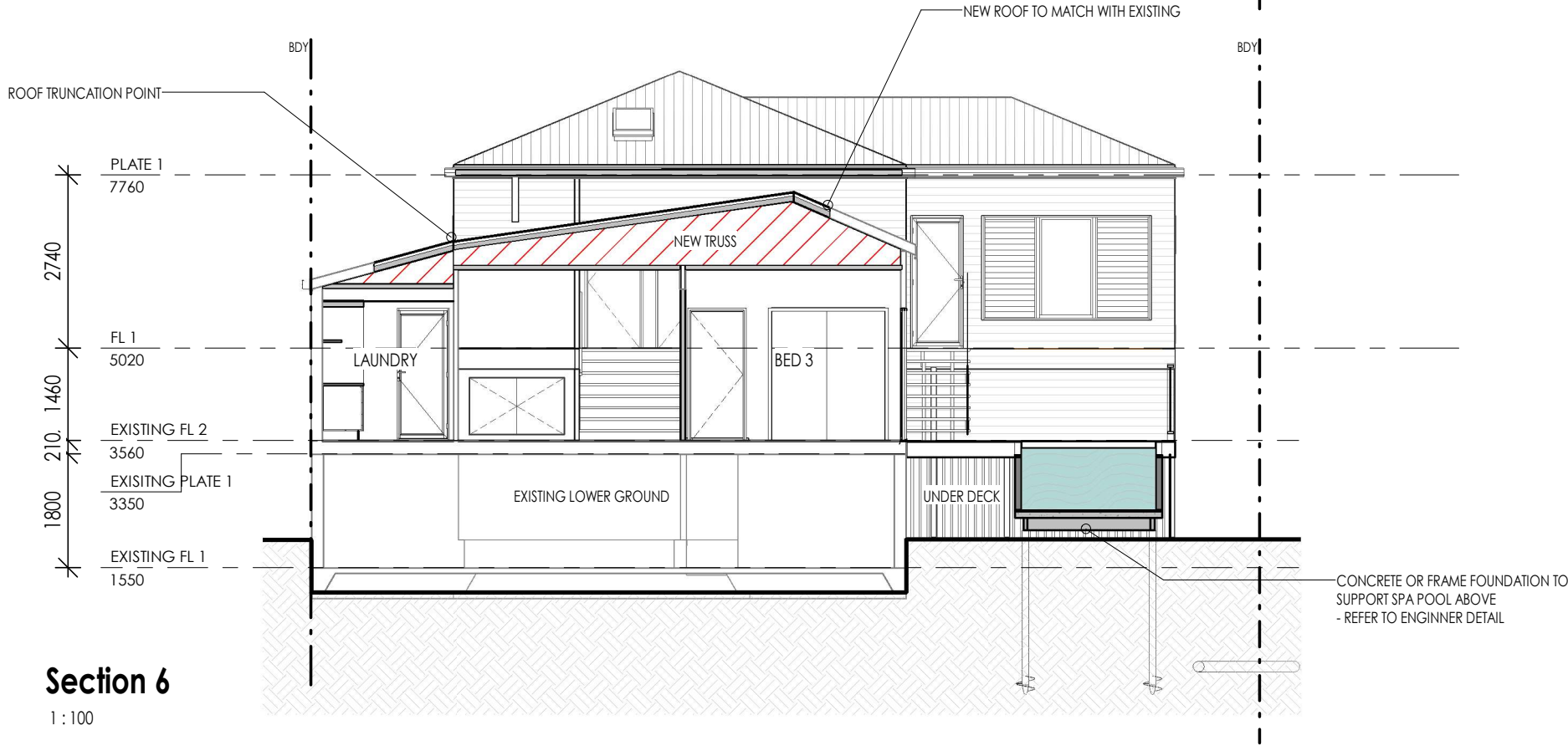
SHEET NUMBER & NAME

400.01 SECTIONS



Section 5

1 : 100



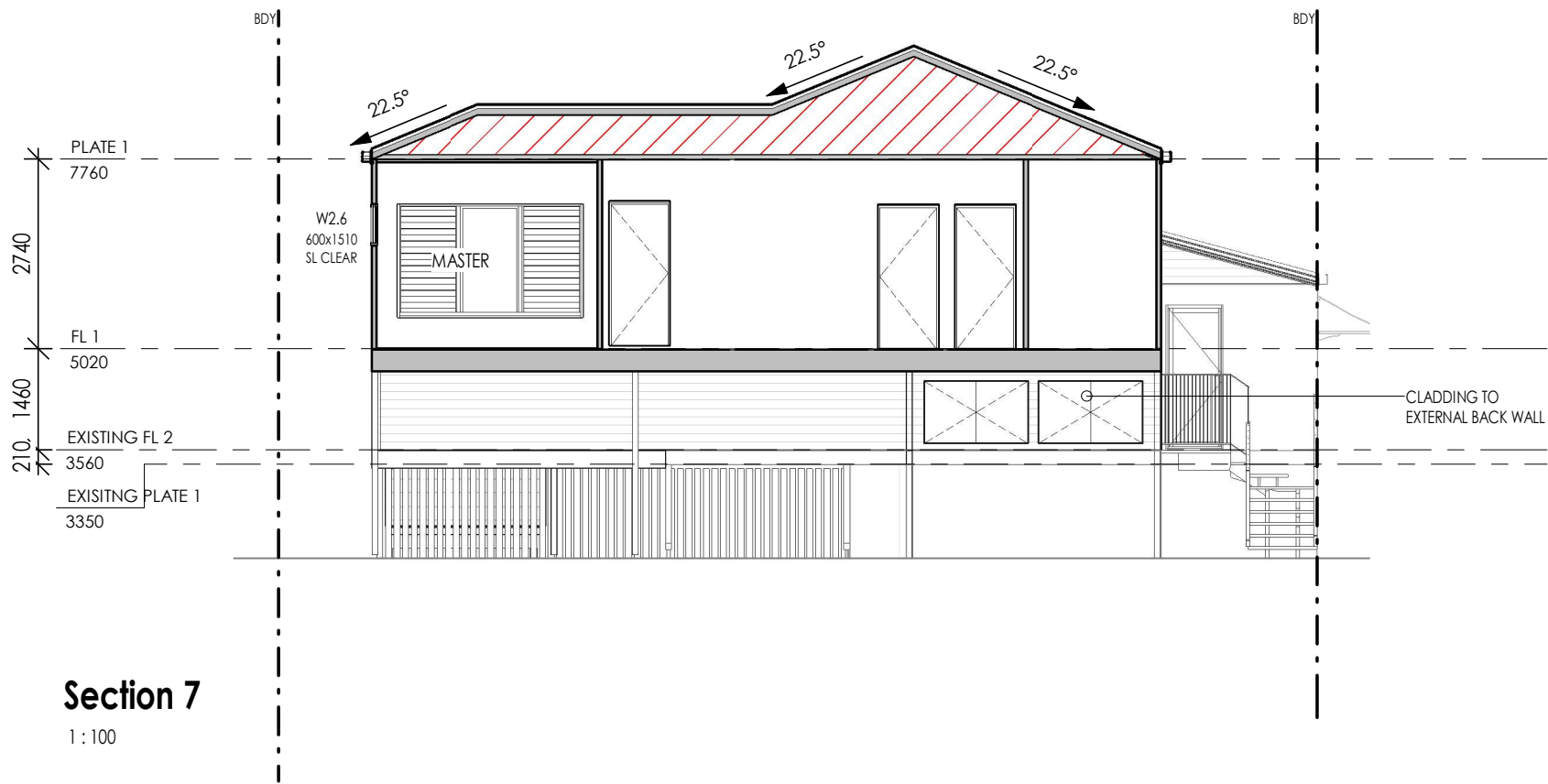
Section 6

1 : 100

WORKING DRAWINGS

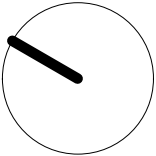
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|-----|--------------------|------------|----|-------------------------|----------------------|
| D | DRAFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' |
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| L | DRAFTING AMENDMENT | 21.06.2023 | LX | | |

SHEET NUMBER & NAME
400.02 SCETIONS



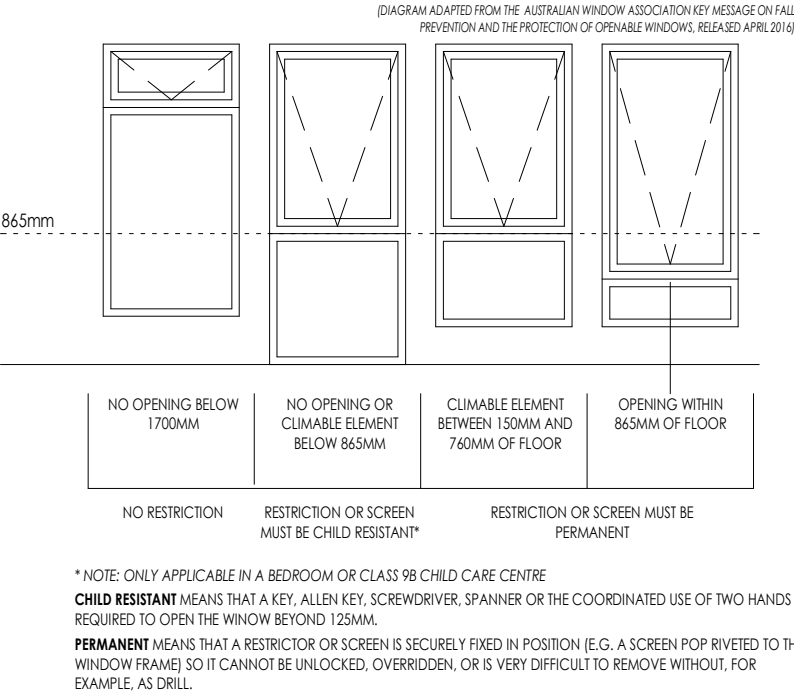
WORKING DRAWINGS

| REV | | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|--|--------------------|------------|----|------------------|----------------------|
| D | | DRAFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' |
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| L | | DRAFTING AMENDMENT | 21.06.2023 | LX | | |
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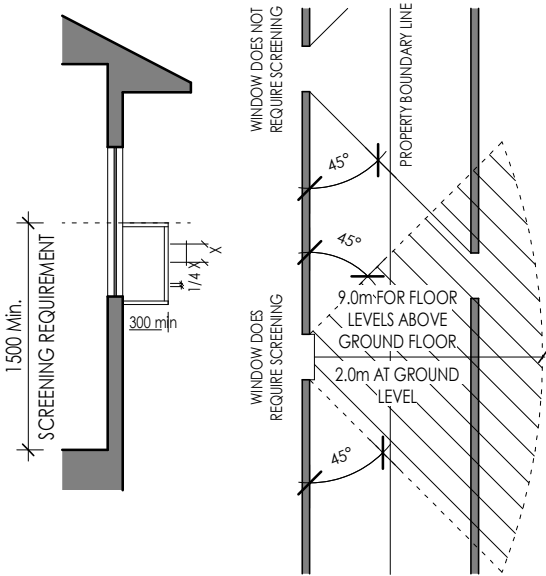


DOOR & WINDOW REQUIREMENTS

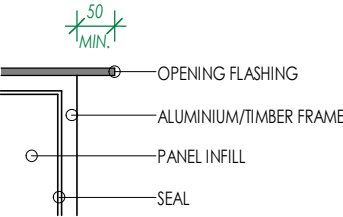
| | | |
|--|---|---|
| PROTECTION OF OPENABLE WINDOWS - BEDROOMS WINDOWS MUST BE COMPLIANT WITH: BCA VOL. 2 PART 3.9.2.6 "PROTECTION OF OPENABLE WINDOWS - BEDROOMS" (A) A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION, IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2 M OR MORE ABOVE THE SURFACE BENEATH. (B) WHERE THE LOWEST LEVEL OF THE WINDOW OPENING IS LESS THAN 1.7 M ABOVE THE FLOOR, A WINDOW OPENING COVERED BY (A) MUST COMPLY WITH THE FOLLOWING: (I) THE OPENABLE PORTION OF THE WINDOW MUST BE PROTECTED WITH— (A) A DEVICE TO RESTRICT THE WINDOW OPENING; OR (B) A SCREEN WITH SECURE FITTINGS. (II) A DEVICE OR SCREEN REQUIRED BY (I) MUST— (A) NOT PERMIT A 125 MM SPHERE TO PASS THROUGH THE WINDOW OPENING OR SCREEN; AND (B) RESIST AN OUTWARD HORIZONTAL ACTION OF 250N AGAINST THE— (AA) WINDOW RESTRAINED BY A DEVICE; OR (BB) SCREEN PROTECTING THE OPENING; AND (C) HAVE A CHILD RESISTANT RELEASE MECHANISM IF THE SCREEN OR DEVICE IS ABLE TO BE REMOVED, UNLOCKED OR OVERRIDDEN. (C) WHERE A DEVICE OR SCREEN PROVIDED IN ACCORDANCE WITH (B)(I) IS ABLE TO BE REMOVED, UNLOCKED OR OVERRIDDEN, A BARRIER WITH A HEIGHT NOT LESS THAN 865 MM ABOVE THE FLOOR IS <i>REQUIRED</i> TO THE OPENABLE WINDOW IN ADDITION TO WINDOW PROTECTION. (D) A BARRIER COVERED BY (C) MUST NOT— (I) PERMIT A 125 MM SPHERE TO PASS THROUGH IT; AND (II) HAVE ANY HORIZONTAL OR NEAR HORIZONTAL ELEMENTS BETWEEN 150 MM AND 760 MM ABOVE THE FLOOR THAT FACILITATE CLIMBING (SEE FIGURE 3.9.2.5). | PROTECTION OF OPENABLE WINDOWS - ROOMS OTHER THAN BEDROOMS WINDOWS MUST BE COMPLIANT WITH: NCC VOL. 2 PART 3.9.2.7 "PROTECTION OF OPENABLE WINDOWS - ROOMS OTHER THAN BEDROOMS" (A) A WINDOW OPENING IN A ROOM OTHER THAN A BEDROOM MUST BE PROVIDED WITH PROTECTION WHERE THE FLOOR BELOW THE WINDOW IS 4 M OR MORE ABOVE THE SURFACE BENEATH. (B) THE OPENABLE PART OF THE WINDOW COVERED BY (A) MUST BE PROTECTED WITH A BARRIER WITH A HEIGHT OF NOT LESS THAN 865 MM ABOVE THE FLOOR. (C) A BARRIER <i>REQUIRED</i> BY (B) MUST NOT— (I) PERMIT A 125 MM SPHERE TO PASS THROUGH IT; AND (II) HAVE ANY HORIZONTAL OR NEAR HORIZONTAL ELEMENTS BETWEEN 150 MM AND 760 MM ABOVE THE FLOOR THAT FACILITATE CLIMBING. (SEE FIGURE 3.9.2.6) SCREENING REQUIREMENTS: BUILDINGS LESS THAN 2M FROM THE NEIGHBOURING HOUSE AT GROUND LEVEL OR 9M FOR STOREYS ABOVE GROUND LEVEL, SCREENING IS REQUIRED FOR HABITABLE ROOM WINDOWS, DECKS, BALCONIES, TERRACES OR ROOF DECKS WHERE THE SIGHT LINE IS WITHIN 45 DEGREES AS SHOWN IN DIAGRAM. WINDOWS WITH A SILL HEIGHT LESS THAN 1.5M ABOVE FLOOR LEVEL MUST COMPLY WITH SCREENING REQUIRMENTS. WHERE AT THE GROUND STOREY, ANY BOUNDARY FENCING TO A HEIGHT OF 1.5M ABOVE GROUND-STOREY FLOOR LEVEL ACTS AS SCREENING. ALL DECKS, BALCONYS, TERRACES, OR ROOF DECKS ARE TO HAVE FIXED SCREENING UP TO 1.5M ABOVE FLOOR LEVEL. <u>COMPLIANT SCREENING INCLUDES:</u> - SOLID TRANSLUCENT SCREENS, PERFORATED OR SLATTED PANELS OR FIXED LOUVRES - SCREENS MUST HAVE A MAXIMUM OF 25% OPENINGS, WITH A MAXIMUM OPENING DIMENSION OF 50MM - OFFSET A MINIMUM OF 0.3M FROM THE FACE OF THE WALL AROUND ANY WINDOW. - FIXED TRANSLUCENT GLAZING UP TO 1.5M ABOVE FLOOR LEVEL | SANITARY COMPARTMENT NOTE PROVIDE LIFT OFF HINGE DOOR WHERE 1200MM BETWEEN PAN AND SWING DOOR CANNOT BE ACHIEVED. DOOR & WINDOW NOTES ALL DOORS AND WINDOWS ARE: -ALL CLEAR GLASS UNLESS STATED OTHERWISE ON THE PLANS OR NOTED IN THE ENERGY EFFICIENCY REPORT -ALUMINIUM FRAME DOORS AND WINDOWS TO BE POWDER COATED TO OWNER'S SELECTION -TIMBER FRAMED DOORS OR WINDOWS TO BE STAINED OR PAINTED TO OWNER'S SELECTION -ALL WINDOWS AND DOORS ARE NOMINAL ONLY AND ALL SIZES AND TOLERANCES ARE TO BE CONFIRMED BY THE SELECTED WINDOW AND DOOR MANUFACTURE. -ALL WINDOWS AND DOORS ARE TO BE SITE MEASURED AND ANY CONFLICTS BETWEEN THE PLAN/ELEVATIONS AND THE SCHEDULE SPECIAL REQUIREMENTS ARE TO BE CONFIRMED BETWEEN THE CONSTRUCTION MANAGER AND THE CLIENT PRIOR TO ORDERING. -ALL COMMERCIAL DOORS TO COMPLY WITH BCA REQUIREMENTS AND DISABILITY (ACCESS TO PREMISES- BUILDINGS) STANDARDS CODE ALL UNPROTECTED OPENINGS TO HAVE OVERHEAD FLASHING EXTENSIONS NO LESS THAN 50mm |
| <ul style="list-style-type: none">ALL WINDOWS AND DOORS CAN BE PRESUMED TO MATCH STANDARD SIZING AS PER THE SELECTED SUPPLIER WHEN ACHIEIVABLE.GLAZING SCHEDULE IS TO BE CHECKED BY DRAFTING BEFORE PURCHASE ORDER IS ISSUED.REFER TO ENERGY EFFICIENCY REPORT FOR ANY GLAZING REQUIREMENTS TO WINDOWS OR DOORS TO COMPLY WITH ENERGY EFFICIENCY REQUIREMENTS | | |



WINDOW RESTRICTOR REQUIREMENTS



SCREENING REQUIREMENTS



OPENING FLASHING PROTECTION

WINDOW LEGEND

| | |
|--------|--------------------------|
| AW | AWNING |
| BFW | BI-FOLD |
| CM | CASEMENT |
| DH | DOUBLE HUNG |
| SH | SINGLE HUNG |
| FX | FIXED |
| FX CNR | FIXED CORNER (BUTT JOIN) |
| LV | LOUVRE |
| SKY.L | SKYLIGHT |
| SL | SLIDING |

DOOR LEGEND

| | |
|---------|----------------------|
| SW | SWING |
| BFD | BI-FOLD |
| CV | CAVITY SLIDER |
| FD | FRENCH |
| FS | FACE SLIDER |
| JD | JOINERY |
| PL | PANEL LIFT |
| PV | PIVOT |
| RD | ROLLER |
| RSD | ROBE SLIDER |
| SGD | SLIDING GLASS |
| SGD CNR | SLIDING GLASS CORNER |

GLAZING OPTIONS

CLEAR
TRANSLUCENT
OBSCURE
FROSTED
PATTERNED
SATIN
TINTED
LOW-E

ARCHITRAVE SIZES

42x12 GENERAL AREA
42x19 WET AREA

66x12 GENERAL AREA
66x18 WET AREA

REVEAL FINISH

STANDARD (TIMBER)
SQUARE SET
TILE

WORKING DRAWINGS

| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|--|--------------------|--|-----|-------------|------|----|---|--------------------|------------|----|---|--------------------|------------|----|---|--------------------|------------|----|---|-----------------|------------|----|---|-----------------|------------|----|---|------------|------------|----|---|------------|------------|----|---|--------------------|------------|----|---|--------------------|------------|----|--|----------------|-----------|-------------|------------|---------|----------|------------------|---|---------------------|----------------------|-------|---|---------------------|--|--|
| | | <table><tr><td>REV</td><td>DESCRIPTION</td><td>DATE</td><td>BY</td></tr><tr><td>D</td><td>DRAFTING AMENDMENT</td><td>15.01.2023</td><td>AM</td></tr><tr><td>E</td><td>DRAFTING AMENDMENT</td><td>02.02.2023</td><td>LX</td></tr><tr><td>F</td><td>DRAFTING AMENDMENT</td><td>07.02.2023</td><td>LX</td></tr><tr><td>G</td><td>DETAIL APPROVAL</td><td>07.02.2023</td><td>AM</td></tr><tr><td>H</td><td>DETAIL APPROVAL</td><td>15.03.2023</td><td>AM</td></tr><tr><td>I</td><td>SITE ISSUE</td><td>21.03.2023</td><td>LX</td></tr><tr><td>J</td><td>SITE ISSUE</td><td>11.04.2023</td><td>LX</td></tr><tr><td>K</td><td>DRAFTING AMENDMENT</td><td>09.05.2023</td><td>AM</td></tr><tr><td>L</td><td>DRAFTING AMENDMENT</td><td>21.06.2023</td><td>LX</td></tr></table> | REV | DESCRIPTION | DATE | BY | D | DRAFTING AMENDMENT | 15.01.2023 | AM | E | DRAFTING AMENDMENT | 02.02.2023 | LX | F | DRAFTING AMENDMENT | 07.02.2023 | LX | G | DETAIL APPROVAL | 07.02.2023 | AM | H | DETAIL APPROVAL | 15.03.2023 | AM | I | SITE ISSUE | 21.03.2023 | LX | J | SITE ISSUE | 11.04.2023 | LX | K | DRAFTING AMENDMENT | 09.05.2023 | AM | L | DRAFTING AMENDMENT | 21.06.2023 | LX | <table><tr><td>RP DESCRIPTION</td></tr><tr><td>LOT NO: /</td></tr><tr><td>AREA: 405m²</td></tr><tr><td>PLAN NO: /</td></tr><tr><td>WARD: /</td></tr><tr><td>SUBURB /</td></tr><tr><td>AUTHORITY: B.C.C</td></tr></table> | RP DESCRIPTION | LOT NO: / | AREA: 405m² | PLAN NO: / | WARD: / | SUBURB / | AUTHORITY: B.C.C | <table><tr><td>PROJECT DESCRIPTION</td></tr><tr><td>'PROPOSED EXTENSION'</td></tr><tr><td>/ - /</td></tr><tr><td>/</td></tr><tr><td>SHEET NUMBER & NAME</td></tr><tr><td>500.00 DOOR & WINDOW (GENERAL NOTES & LEGENDS)</td></tr></table> | PROJECT DESCRIPTION | 'PROPOSED EXTENSION' | / - / | / | SHEET NUMBER & NAME | 500.00 DOOR & WINDOW (GENERAL NOTES & LEGENDS) | |
| REV | DESCRIPTION | DATE | BY | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| E | DRAFTING AMENDMENT | 02.02.2023 | LX | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| F | DRAFTING AMENDMENT | 07.02.2023 | LX | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| G | DETAIL APPROVAL | 07.02.2023 | AM | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| K | DRAFTING AMENDMENT | 09.05.2023 | AM | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| L | DRAFTING AMENDMENT | 21.06.2023 | LX | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| RP DESCRIPTION | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| LOT NO: / | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| AREA: 405m² | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| PLAN NO: / | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| WARD: / | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SUBURB / | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| AUTHORITY: B.C.C | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| 'PROPOSED EXTENSION' | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| / - / | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| SHEET NUMBER & NAME | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 500.00 DOOR & WINDOW (GENERAL NOTES & LEGENDS) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

ALL ALUMINIUM FRAMED WINDOWS & DOORS SUPPLIED BY 'TREND' UNO
USE STANDARD SIZING FROM SYNERGY RANGE WHERE ACHIEVABLE

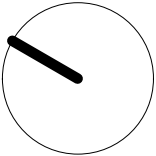
| DOOR SCHEDULE | | | | | | | | | | | |
|---------------|------|--------|-------|------|--|------------------|------------------------|-------------|---------------------|-----------------------------|----------|
| LEVEL | MARK | HEIGHT | WIDTH | HEAD | STYLE | CONFIGURATION | FRAME FINISH | REVEAL TYPE | PANEL FINISH | FLYSCREENS/SECURITY SCREENS | COMMENTS |
| EXISTING FL 2 | 1.0 | 2100 | 820 | 2100 | EXTERNAL SWING DOOR - SINGLE | 2100x820 | AS PER SELECTIONS | STANDARD | AS PER SELECTIONS | | |
| EXISTING FL 2 | 1.3 | 2100 | 820 | 2100 | INTERNAL SWING DOOR - SINGLE | 2100x820 | PAINTED TIMBER | STANDARD | PAINTED TIMBER | | |
| EXISTING FL 2 | 1.4 | 2100 | 820 | 2100 | EXTERNAL SWING DOOR - SINGLE | 2100x820 | AS PER SELECTIONS | STANDARD | AS PER SELECTIONS | | |
| EXISTING FL 2 | 1.5 | 2100 | 2679 | 2100 | STACKER DOOR - TREND 'SYNERGY' - 102mm | SSD2127 | POWDERCOATED ALUMINIUM | TIMBER | CLEAR | | |
| EXISTING FL 2 | 1.6 | 2100 | 1800 | 2100 | ROBE SLIDER - 2 PANEL | 2100x1800 | REFER TO SELECTIONS | STANDARD | REFER TO SELECTIONS | | |
| EXISTING FL 2 | 1.7 | 2100 | 820 | 2100 | INTERNAL SWING DOOR - SINGLE | 2100x820 | PAINTED TIMBER | STANDARD | PAINTED TIMBER | | |
| EXISTING FL 2 | 1.14 | 2100 | 1640 | 2100 | DOUBLE CAVITY SLIDING DOOR | 2100x1640 | | | | | |
| EXISTING FL 2 | 1.15 | 900 | 1500 | 1000 | JOINERY SWING DOOR - DOUBLE | 900x1500 (2x750) | Painted Timber | | LAMINATE | | |
| EXISTING FL 2 | 1.16 | 900 | 1500 | 1000 | JOINERY SWING DOOR - DOUBLE | 900x1500 (2x750) | Painted Timber | | LAMINATE | | |

| | | | | | | | | | | | |
|------|-----|------|------|------|------------------------------|-----------|---------------------|----------|---------------------|--|--|
| FL 1 | 2.1 | 2100 | 820 | 2100 | INTERNAL SWING DOOR - SINGLE | 2100x820 | PAINTED TIMBER | STANDARD | PAINTED TIMBER | | |
| FL 1 | 2.2 | 2100 | 820 | 2100 | INTERNAL SWING DOOR - SINGLE | 2100x820 | PAINTED TIMBER | STANDARD | PAINTED TIMBER | | |
| FL 1 | 2.3 | 2100 | 1500 | 2100 | ROBE SLIDER - 2 PANEL | 2100x1500 | REFER TO SELECTIONS | STANDARD | REFER TO SELECTIONS | | |
| FL 1 | 2.4 | 2100 | 820 | 2100 | INTERNAL SWING DOOR - SINGLE | 2100x820 | PAINTED TIMBER | STANDARD | PAINTED TIMBER | | |
| FL 1 | 2.5 | 2100 | 1500 | 2100 | ROBE SLIDER - 2 PANEL | 2100x1500 | REFER TO SELECTIONS | STANDARD | REFER TO SELECTIONS | | |
| FL 1 | 2.6 | 2100 | 820 | 2100 | INTERNAL SWING DOOR - SINGLE | 2100x820 | PAINTED TIMBER | STANDARD | PAINTED TIMBER | | |
| FL 1 | 2.7 | 2100 | 820 | 2150 | INTERNAL SWING DOOR - SINGLE | 2100x820 | PAINTED TIMBER | STANDARD | PAINTED TIMBER | | |
| FL 1 | 2.8 | 2100 | 820 | 2100 | EXTERNAL SWING DOOR - SINGLE | 2100x820 | AS PER SELECTIONS | STANDARD | AS PER SELECTIONS | | |

WORKING DRAWINGS

REFER TO ENERGY EFFICIENCY REPORT FOR ANY GLAZING REQUIREMENTS TO WINDOWS OR DOORS TO COMPLY WITH ENERGY EFFICIENCY REQUIREMENTS

| | | | | | | | |
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| | | G | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
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| | | I | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | |
| | | J | SITE ISSUE | 11.04.2023 | LX | | |
| | | K | DRAFTING AMENDMENT | 09.05.2023 | AM | | |
| | | L | DRAFTING AMENDMENT | 21.06.2023 | LX | | |
| | | | | | | | |



SHEET NUMBER & NAME
500.10 DOOR SCHEDULE


ALL ALUMINIUM FRAMED WINDOWS & DOORS SUPPLIED BY 'TREND' UNO
USE STANDARD SIZING FROM SYNERGY RANGE WHERE ACHIEVABLE

| WINDOW SCHEDULE | | | | | | | | | | | |
|-----------------|------|--------|-------|------|--------------------------|-----------------|------------------------|-------------|--------------|------------------------------|--------------------------|
| LEVEL | MARK | HEIGHT | WIDTH | HEAD | STYLE | CONFIGURATION | FRAME FINISH | REVEAL TYPE | GLASS FINISH | FLYSCREEN/SECURITY SCREENING | COMMENTS |
| FL 1 | 2.1 | 900 | 610 | 2100 | SLIDING WINDOW - 2 PANEL | SF - 0900x0600 | POWDERCOATED ALUMINIUM | STANDARD | OBS | | |
| FL 1 | 2.2 | 600 | 1510 | 2100 | SLIDING WINDOW - 2 PANEL | SF - 0600x1500 | POWDERCOATED ALUMINIUM | STANDARD | CLEAR | | |
| FL 1 | 2.3 | 1200 | 1510 | 2100 | SLIDING WINDOW - 2 PANEL | SF - 1200x1500 | POWDERCOATED ALUMINIUM | STANDARD | CLEAR | | |
| FL 1 | 2.4 | 1200 | 1510 | 2100 | SLIDING WINDOW - 2 PANEL | SF - 1200x1500 | POWDERCOATED ALUMINIUM | STANDARD | CLEAR | | |
| FL 1 | 2.5 | 600 | 1510 | 2100 | SLIDING WINDOW - 2 PANEL | SF - 0600x1500 | POWDERCOATED ALUMINIUM | STANDARD | OBS | | |
| FL 1 | 2.6 | 600 | 1510 | 2100 | SLIDING WINDOW - 2 PANEL | SF - 0600x1500 | POWDERCOATED ALUMINIUM | STANDARD | CLEAR | | |
| FL 1 | 2.7 | 1640 | 2690 | 2100 | LOUVRE WINDOW | LLL - 1600x2700 | POWDERCOATED ALUMINIUM | STANDARD | CLEAR | | MIDDLE PANEL TO BE FIXED |
| PLATE 1 | 2.20 | 600 | 900 | | FIXED SKYLIGHT WINDOW | F-600x900 | POWDERCOATED ALUMINIUM | STANDARD | CLEAR | | |

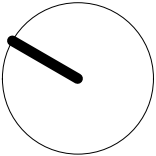
WORKING DRAWINGS

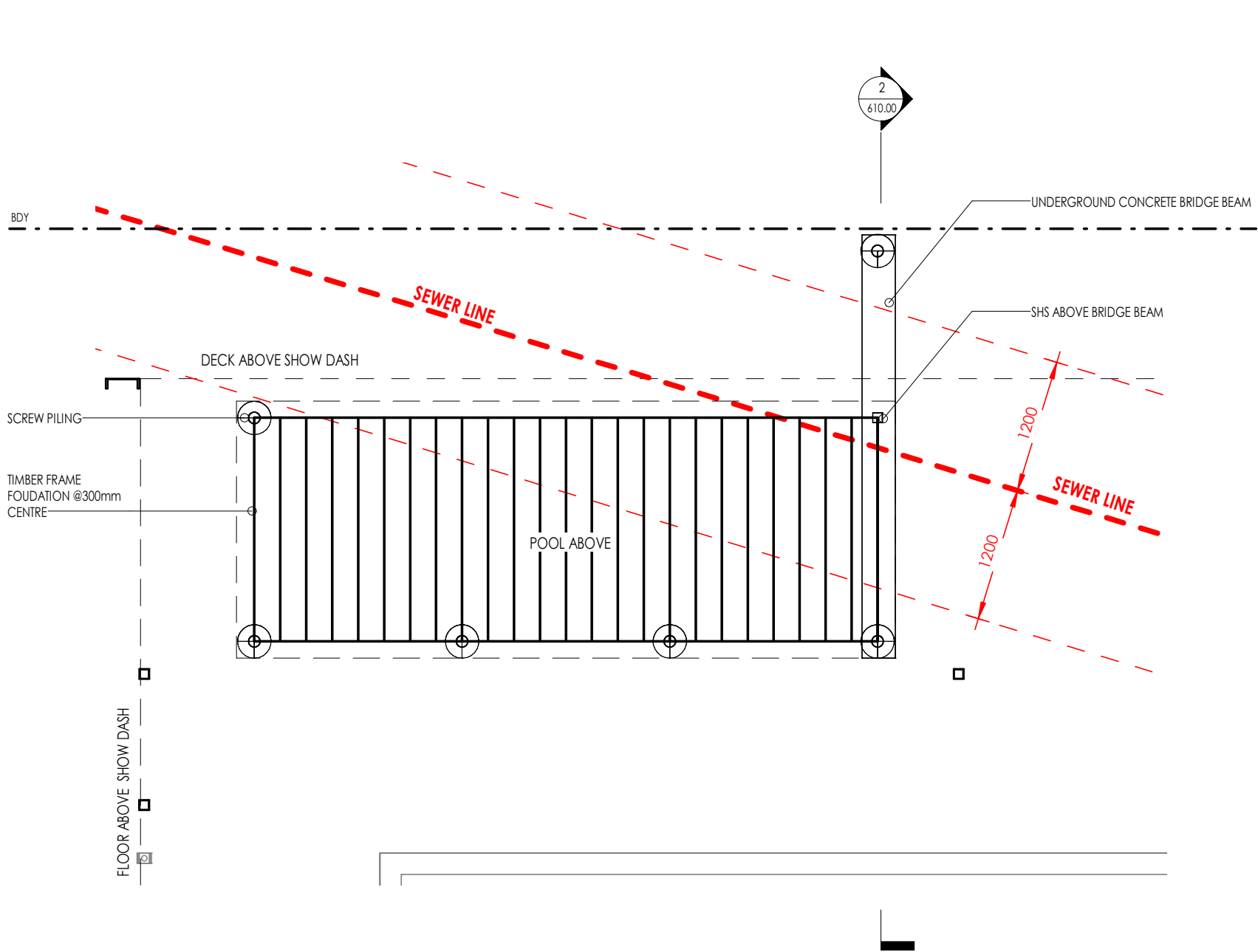
REFER TO ENERGY EFFICIENCY REPORT FOR ANY GLAZING REQUIREMENTS TO WINDOWS OR DOORS TO COMPLY WITH ENERGY EFFICIENCY REQUIREMENTS

| | | | | | | | |
|--|--|-----|--------------------|------------|----|------------------|----------------------|
| | | REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
| | | D | DRAFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' |
| | | E | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | / - / |
| | | F | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | / |
| | | G | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
| | | H | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | |
| | | I | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | |
| | | J | SITE ISSUE | 11.04.2023 | LX | | |
| | | K | DRAFTING AMENDMENT | 09.05.2023 | AM | | |
| | | L | DRAFTING AMENDMENT | 21.06.2023 | LX | | |



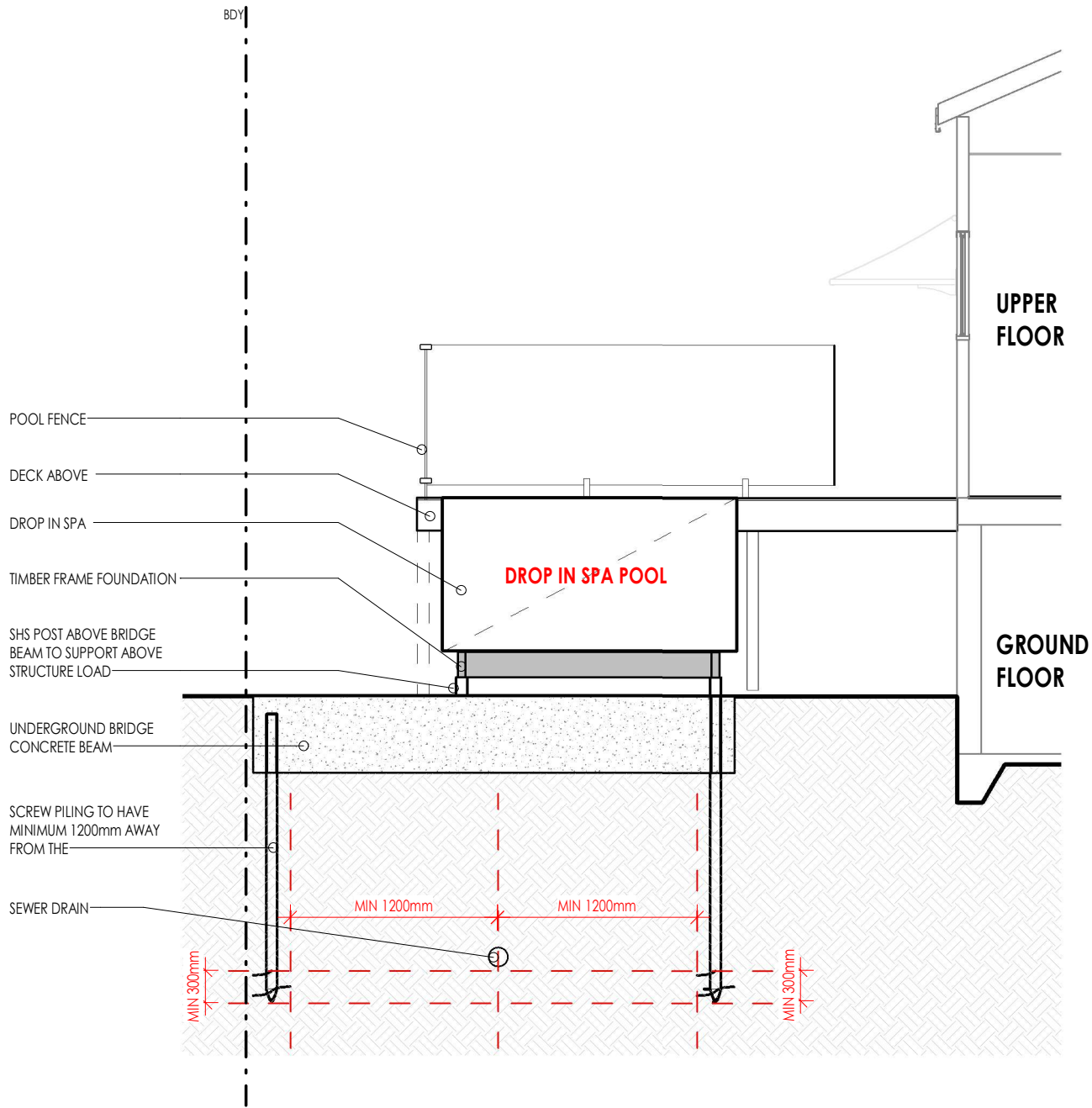
SHEET NUMBER & NAME
500.20 WINDOW SCHEDULE





POOL FOUNDATION DETAIL PLAN

1 : 50



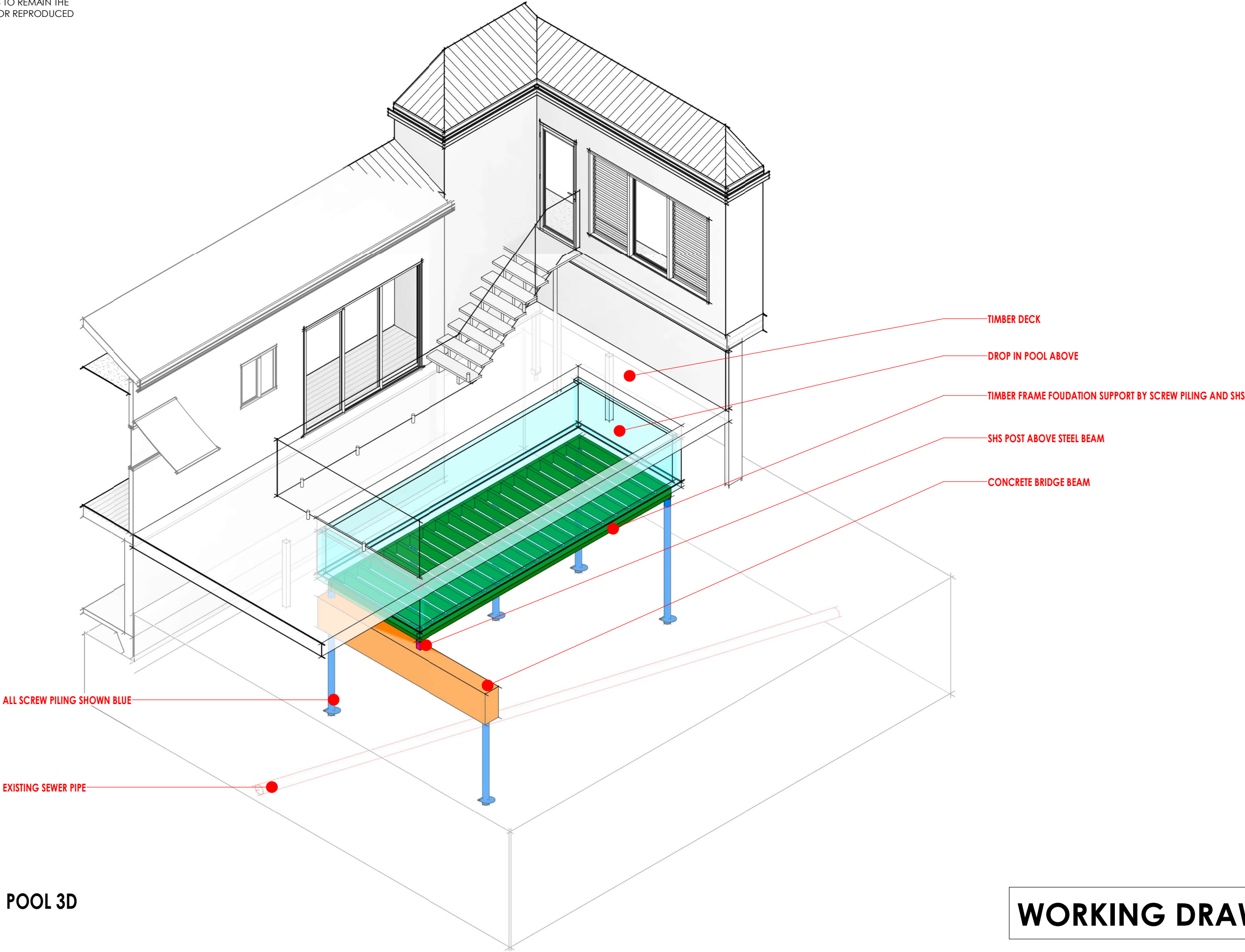
BUILT OVER SEWER SECTION

1 : 50

WORKING DRAWINGS

| REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|--------------------|------------|----|------------------|----------------------|
| D | DRAFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' |
| E | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | / - / |
| F | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | / |
| G | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
| H | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | |
| I | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | |
| J | SITE ISSUE | 11.04.2023 | LX | | |
| K | DRAFTING AMENDMENT | 09.05.2023 | AM | | |
| L | DRAFTING AMENDMENT | 21.06.2023 | LX | | |

SHEET NUMBER & NAME
610.00 POOL DETAILS



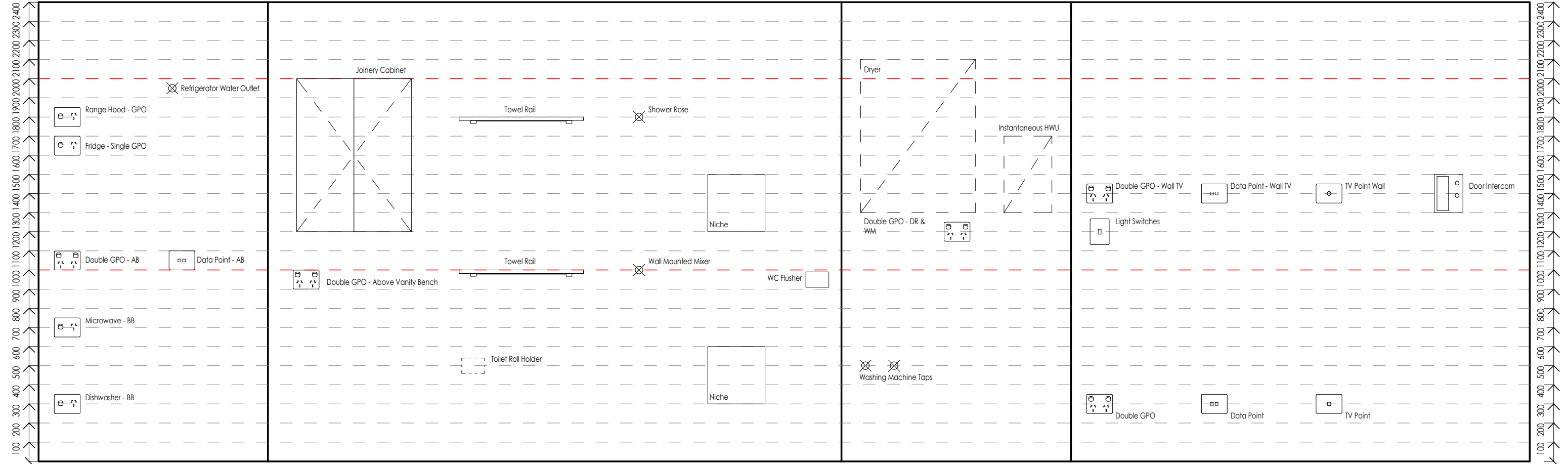
POOL 3D

WORKING DRAWINGS

| REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|--------------------|------------|----|------------------|----------------------|
| D | DARFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' |
| E | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | / - / |
| F | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | / |
| G | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
| H | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | |
| I | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | |
| J | SITE ISSUE | 11.04.2023 | LX | | |
| K | DRAFTING AMENDMENT | 09.05.2023 | AM | | |
| L | DRAFTING AMENDMENT | 21.06.2023 | LX | | |

SHEET NUMBER & NAME

620.00 POOL 3D



Kitchen

Ensuite & Bathroom

Laundry

Living / Dining / Bedroom / Entry

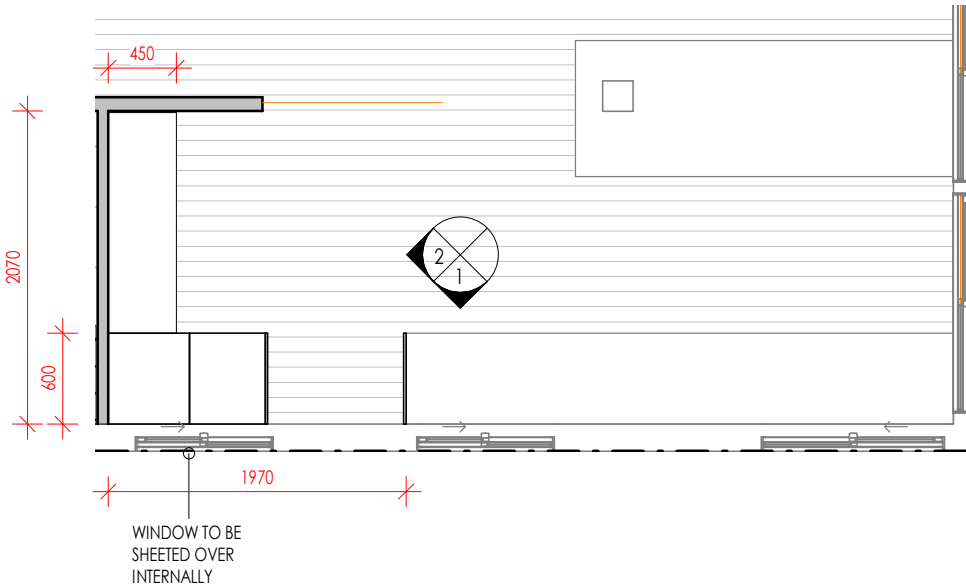


WORKING DRAWINGS

| REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|--------------------|------------|----|------------------|----------------------|
| D | DARFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' |
| E | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | / - / |
| F | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | / |
| G | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
| H | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | |
| I | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | |
| J | SITE ISSUE | 11.04.2023 | LX | | |
| K | DRAFTING AMENDMENT | 09.05.2023 | AM | | |
| L | DRAFTING AMENDMENT | 21.06.2023 | LX | | |

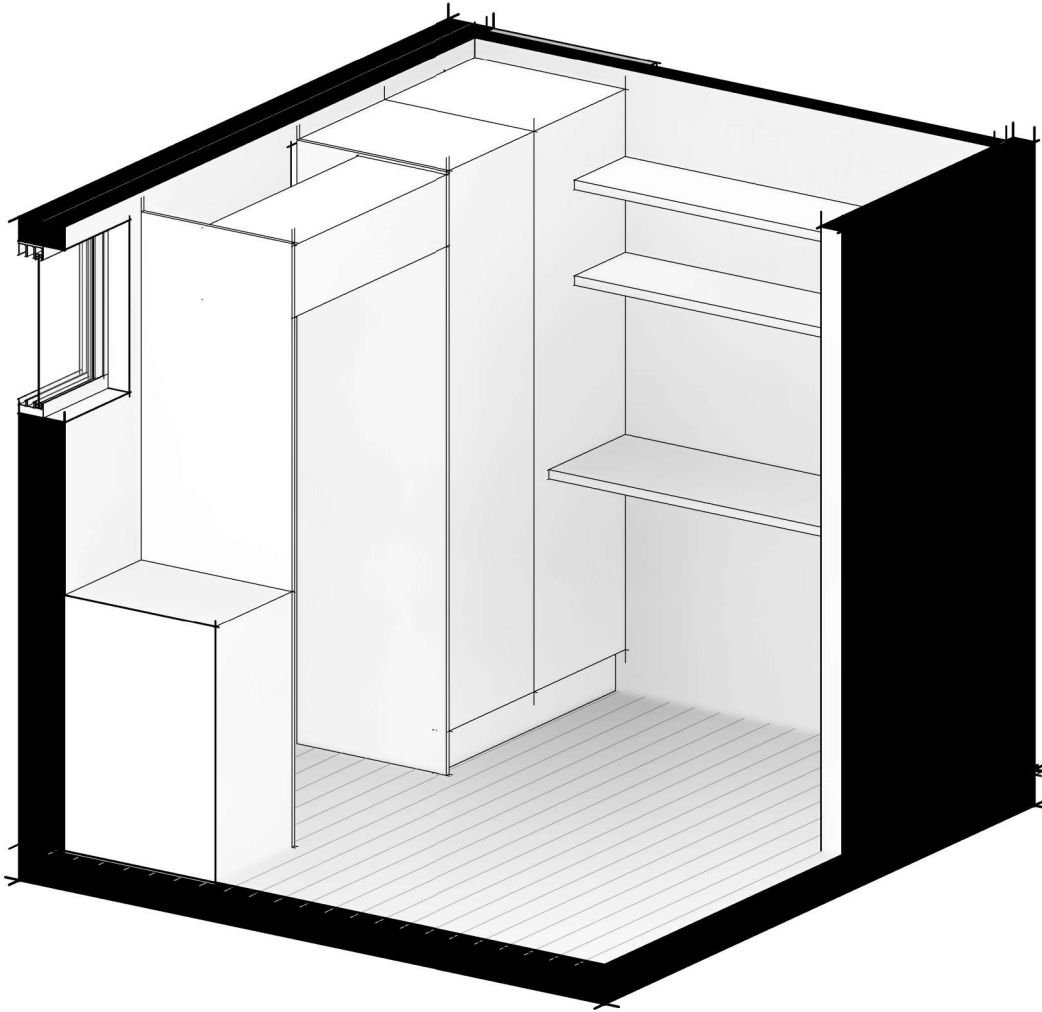
SHEET NUMBER & NAME

800.00 MOUNTING HEIGHTS (GUIDE ONLY)



KITCHEN DETAIL PLAN

1 : 50



BUTLER'S 3D

WALL FINISH

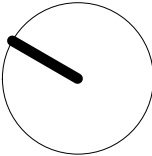
- PB1 PLASTERBOARD FINISH TYPE 1
- PB2 PLASTERBOARD FINISH TYPE 2
- FC FEATURE FC
- TV TIMBER VENEER
- SB SPLASHBACK
- SK1 TILE SKIRTING
- SK2 TIMBER SKIRTING
- SK3 ALUMINIUM SKIRTING
- TL1 TILE TYPE 1
- TL2 TILE TYPE 2

KITCHEN LEGEND

- BC BREAD CUPBOARD
- BT BENCH TOP
- DW DISH WASHER
- CT COOKTOP
- MW MICROWAVE
- OHC OVERHEAD CUPBOARDS
- OV OVEN
- PAN PANTRY
- REF REFRIGERATOR
- RH RANGEHOOD
- SHV SHELVES
- SK KITCHEN SINK
- ST STOVE TOP
- WF WINE REFRIGERATOR
- WIP WALK IN PANTRY

WORKING DRAWINGS

| REV | | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|--|--------------------|------------|----|------------------|---|
| D | | DRAFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' |
| E | | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | / - / |
| F | | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | / |
| G | | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
| H | | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | |
| I | | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | |
| J | | SITE ISSUE | 11.04.2023 | LX | | |
| K | | DRAFTING AMENDMENT | 09.05.2023 | AM | | |
| L | | DRAFTING AMENDMENT | 21.06.2023 | LX | | |
| | | | | | | SHEET NUMBER & NAME 800.10 BUTLERS DETAIL PLAN |



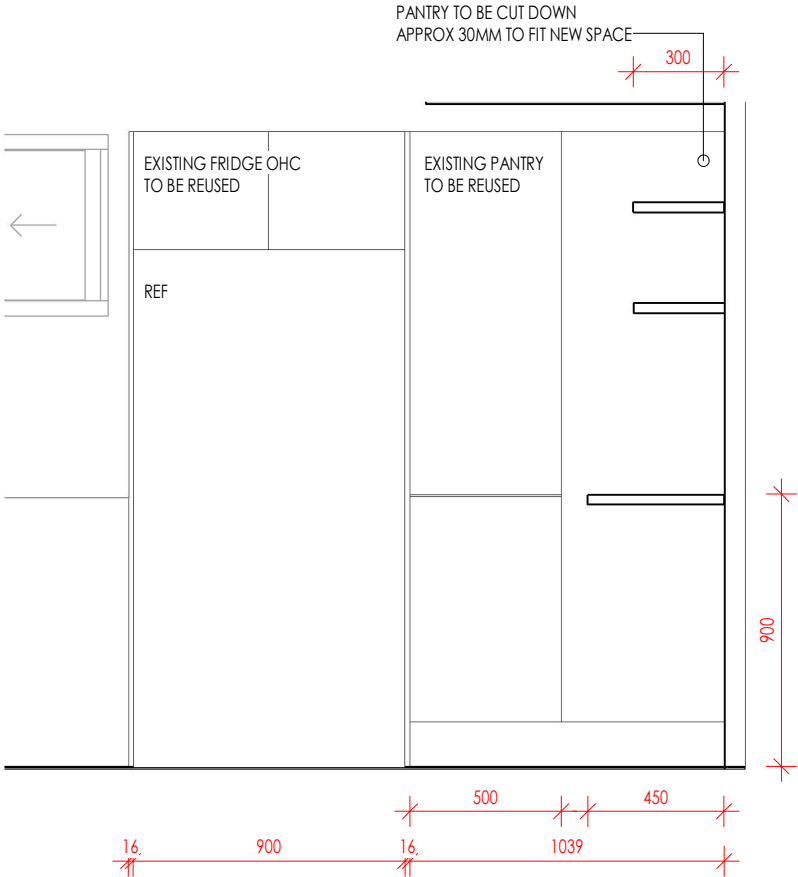
INTERNAL WET AREAS
ALL WET AREAS TO COMPLY WITH NCC 3.8.1.2 & AS 3740 - 2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS

WALL FINISH

| | | |
|---|-----|----------------------------|
| ■ | PB1 | PLASTERBOARD FINISH TYPE 1 |
| ■ | PB2 | PLASTERBOARD FINISH TYPE 2 |
| ■ | FC | FEATURE FC |
| ■ | TV | TIMBER VENEER |
| ■ | SB | SPLASHBACK |
| ■ | SK1 | TILE SKIRTING |
| ■ | SK2 | TIMBER SKIRTING |
| ■ | SK3 | ALUMINIUM SKIRTING |
| ■ | TL1 | TILE TYPE 1 |
| ■ | TL2 | TILE TYPE 2 |

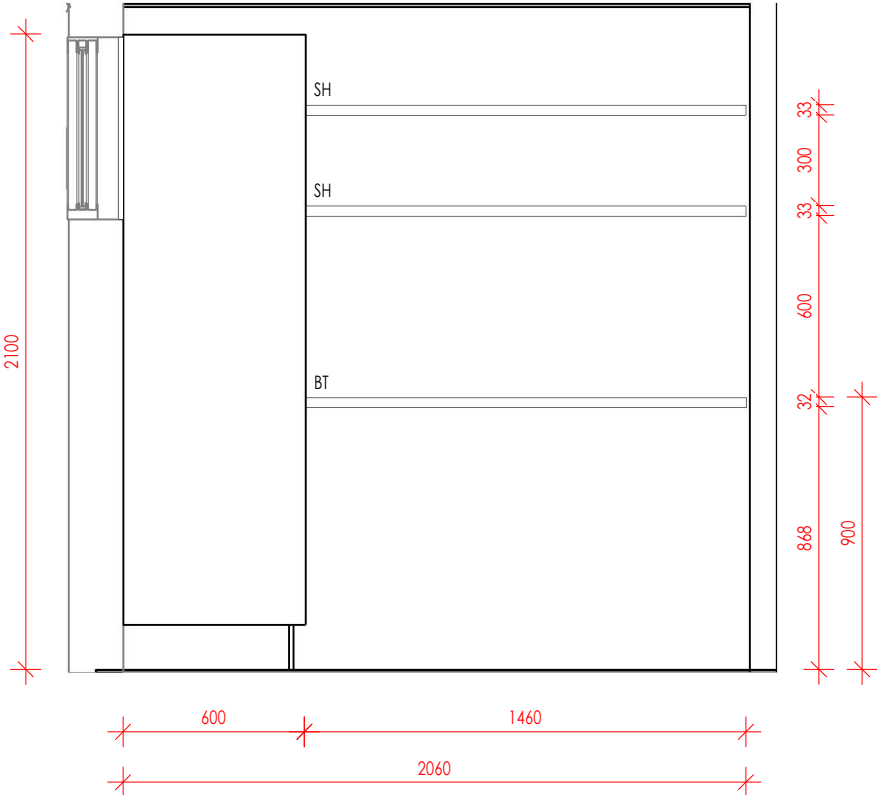
LAUNDRY LEGEND

| | | |
|---|-----|----------------------|
| ■ | BT | BENCH TOP |
| ■ | DYR | CLOTHES DRYER |
| ■ | FW | FLOOR WASTE |
| ■ | CHR | CLOTHES HANGING RAIL |
| ■ | MX | MIXER |
| ■ | OHC | OVERHEAD CUPBOARDS |
| ■ | SB | SPLASHBACK |
| ■ | SHV | SHELVES |
| ■ | TUB | LAUNDRY TUB |
| ■ | WIL | WALK IN LINEN |
| ■ | WM | WASHING MACHINE |



BUTLERS - ELEVATION A

1 : 25



BUTLERS - ELEVATION B

1 : 25

WORKING DRAWINGS

| REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|--------------------|------------|----|------------------|----------------------|
| D | DRAFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' |
| E | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | / - / |
| F | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | / |
| G | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
| H | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | |
| I | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | |
| J | SITE ISSUE | 11.04.2023 | LX | | |
| K | DRAFTING AMENDMENT | 09.05.2023 | AM | | |
| L | DRAFTING AMENDMENT | 21.06.2023 | LX | | |

SHEET NUMBER & NAME
800.20 BUTLERS DETAIL A

- PLUMBING AND ELECTRICAL MEASURMENTS
TAKEN FROM FRAME
- CABINETRY MEASUREMENTS TAKEN FROM
FINISHED WALL
- HEIGHT MEASUREMENTS FROM FINISHED FLOOR LEVEL
- PLASTER BULKHEADS TO FINISH APPROX 3MM FROWARD OF FINISHED CABINETRY DEPTH
- NICHES TO BE OVERSIZED BY 50MM ALL AROUND TO ALLOW FOR TILING
- SUPPORTS IN WALLS REQUIRED FOR TOWEL RAILS/HOOKS - LOCATIONS IN ELEVATIONS

WALL FINISH

- PB1

PLASTERBOARD FINISH TYPE 1
- PB2

PLASTERBOARD FINISH TYPE 2
- FC

FEATURE FC
- TV

TIMBER VENEER
- SB

SPLASHBACK
- SK1

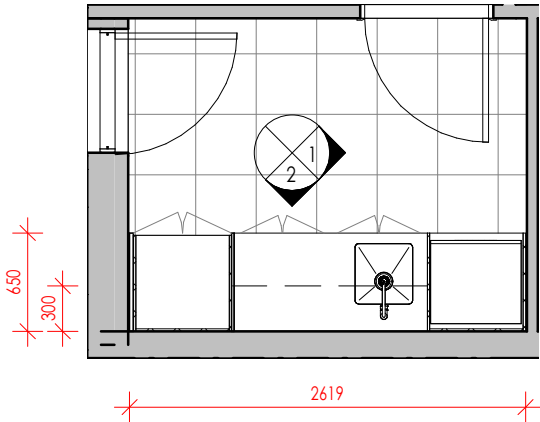
TILE SKIRTING
- SK2

TIMBER SKIRTING
- SK3

ALUMINIUM SKIRTING
- TL1

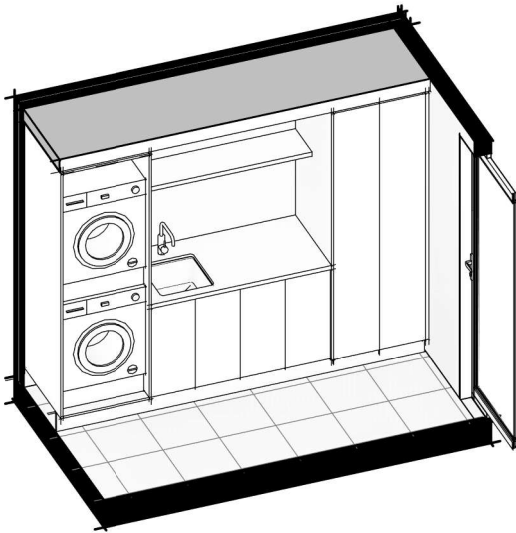
TILE TYPE 1
- TL2

TILE TYPE 2



LAUNDRY DETAIL PLAN

1 : 50



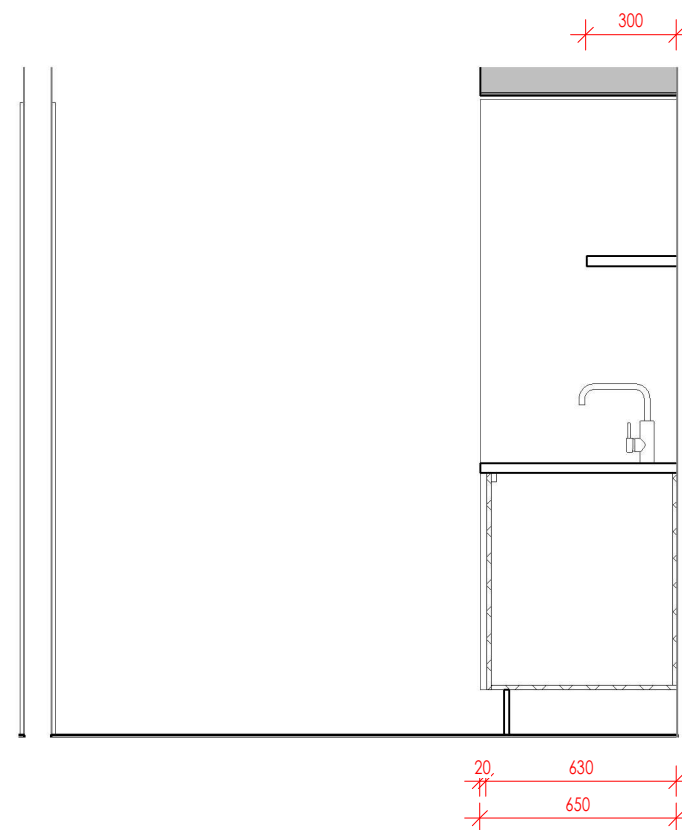
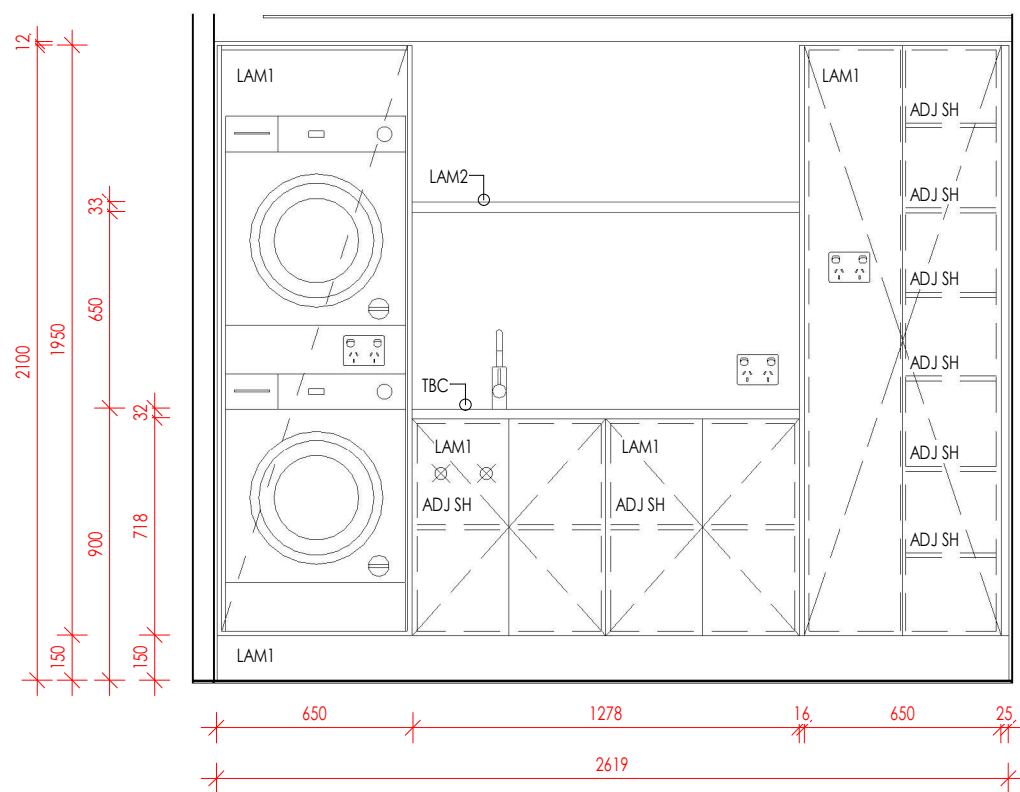
LAUNDRY 3D

WORKING DRAWINGS


| REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|--------------------|------------|----|------------------|----------------------|
| D | DARFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' |
| E | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | / - / |
| F | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | / |
| G | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
| H | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | |
| I | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | |
| J | SITE ISSUE | 11.04.2023 | LX | | |
| K | DRAFTING AMENDMENT | 09.05.2023 | AM | | |
| L | DRAFTING AMENDMENT | 21.06.2023 | LX | | |

SHEET NUMBER & NAME

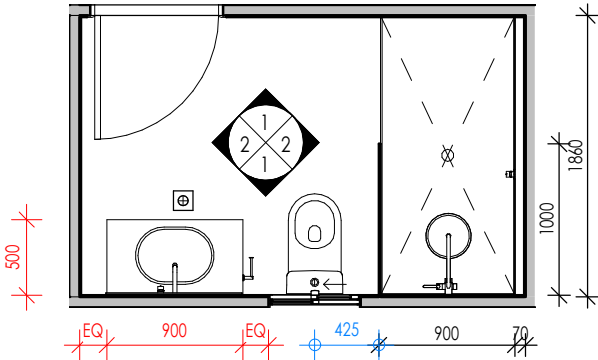
800.30 LAUNDRY DETAIL PLAN



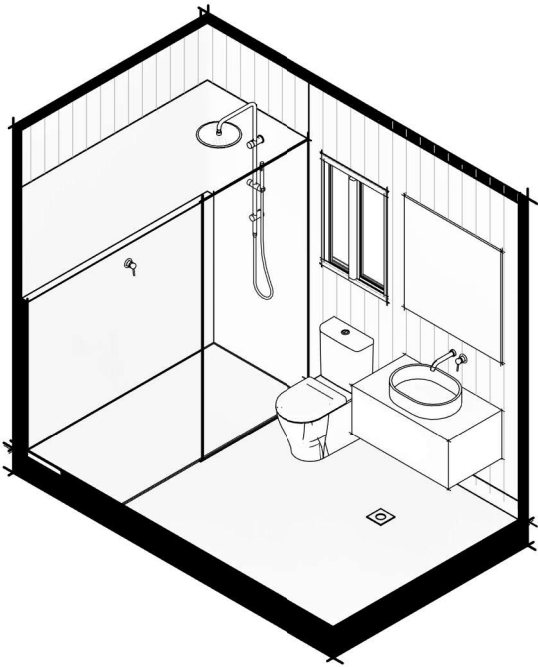
WORKING DRAWINGS

| | | | | | | | | |
|--|--|-----|--------------------|------------|----|------------------|--------------------------------|---|
| | | REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |  |
| | | D | DRAFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' | |
| | | E | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | / - / | |
| | | F | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | / | |
| | | G | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | | |
| | | H | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | | |
| | | I | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | | |
| | | J | SITE ISSUE | 11.04.2023 | LX | | | |
| | | K | DRAFTING AMENDMENT | 09.05.2023 | AM | | SHEET NUMBER & NAME | |
| | | L | DRAFTING AMENDMENT | 21.06.2023 | LX | | 800.31 LAUNDRY DETAIL A | |

- PLUMBING AND ELECTRICAL MEASUREMENTS TAKEN FROM FRAME
- CABINETRY MEASUREMENTS TAKEN FROM FINISHED WALL
- HEIGHT MEASUREMENTS FROM FINISHED FLOOR LEVEL
- PLASTER BULKHEADS TO FINISH APPROX 3MM FROWARD OF FINISHED CABINETRY DEPTH
- NICHES TO BE OVERSIZED BY 50MM ALL AROUND TO ALLOW FOR TILING
- SUPPORTS IN WALLS REQUIRED FOR TOWEL RAILS/HOOKS - LOCATIONS IN ELEVATIONS



BATH 1 DETAIL PLAN
1 : 50



BATH 1 - 3D


INTERNAL WET AREAS
ALL WET AREAS TO COMPLY WITH NCC 3.8.1.2 & AS 3740 - 2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS

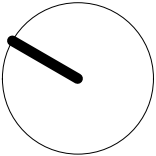
WET AREA LEGEND

| | |
|------|-----------------------|
| B | BIDET |
| BATH | BATHTUB |
| BT | BENCH TOP |
| FW | FLOOR WASTE |
| GD | GRATE DRAIN |
| HB | HAND BASIN |
| HTR | HAND TOWEL RAIL |
| MIRR | MIRROR |
| MX | MIXER |
| OHC | OVERHEAD CUPBOARDS |
| RWH | RAINWATER SHOWER HEAD |
| SB | SPLASHBACK |
| SH | SHOWER ROSE |
| SHV | SHELVES |
| SS | SHOWER SCREEN |
| TH | TOWEL HOOK |
| TR | TOWEL RAIL |
| TRH | TOILET ROLL HOLDER |
| BA | VANITY BASIN |
| WC | WATER CLOSET |

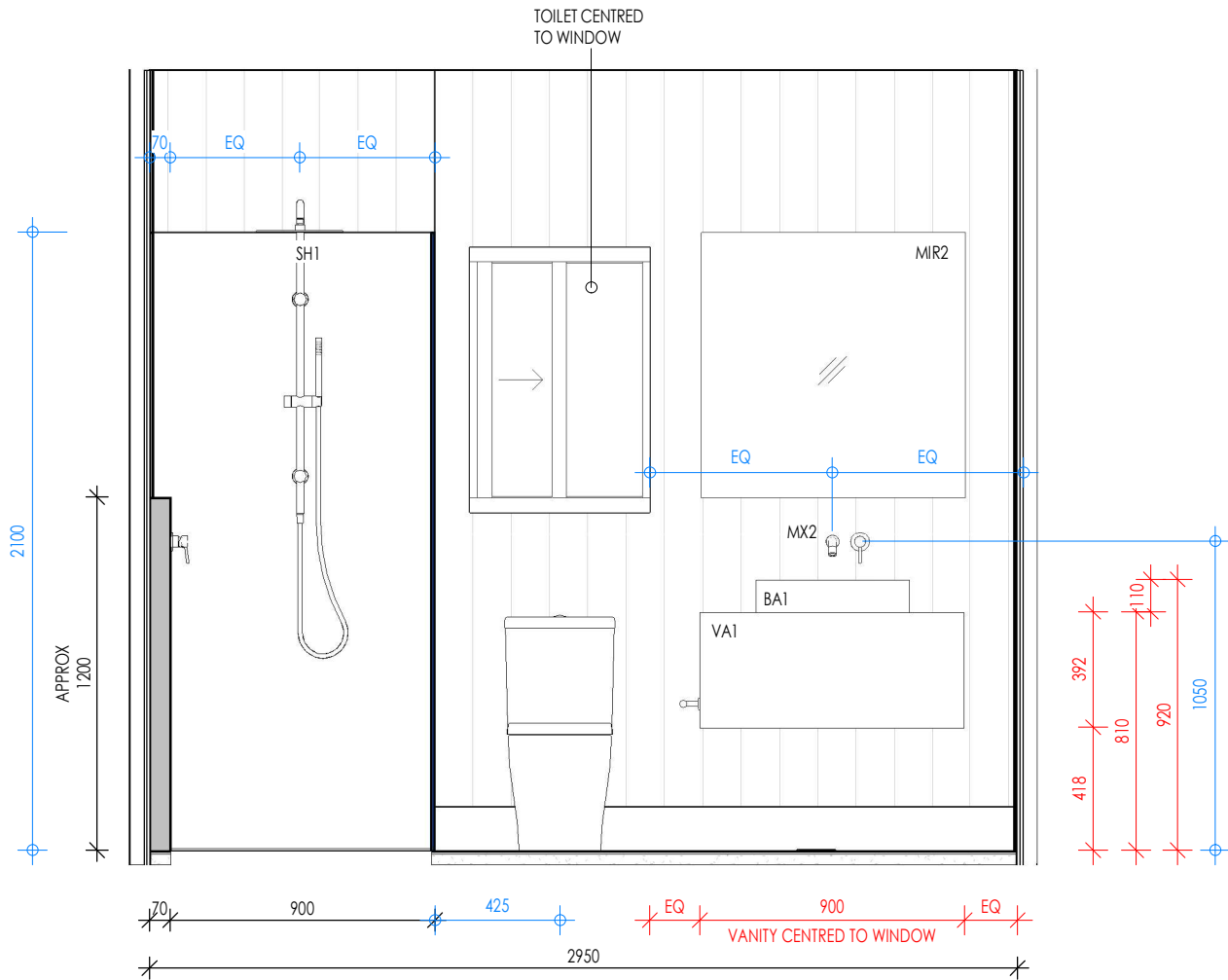
WORKING DRAWINGS

| | | | | | | | |
|--|--|-----|--------------------|------------|----|------------------|-----------------------------|
| | | REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
| | | D | DARFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' |
| | | E | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | / - / |
| | | F | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | / |
| | | G | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
| | | H | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | |
| | | I | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | |
| | | J | SITE ISSUE | 11.04.2023 | LX | | SHEET NUMBER & NAME |
| | | K | DRAFTING AMENDMENT | 09.05.2023 | AM | | 800.40 BATHROOM DETAIL PLAN |
| | | L | DRAFTING AMENDMENT | 21.06.2023 | LX | | |

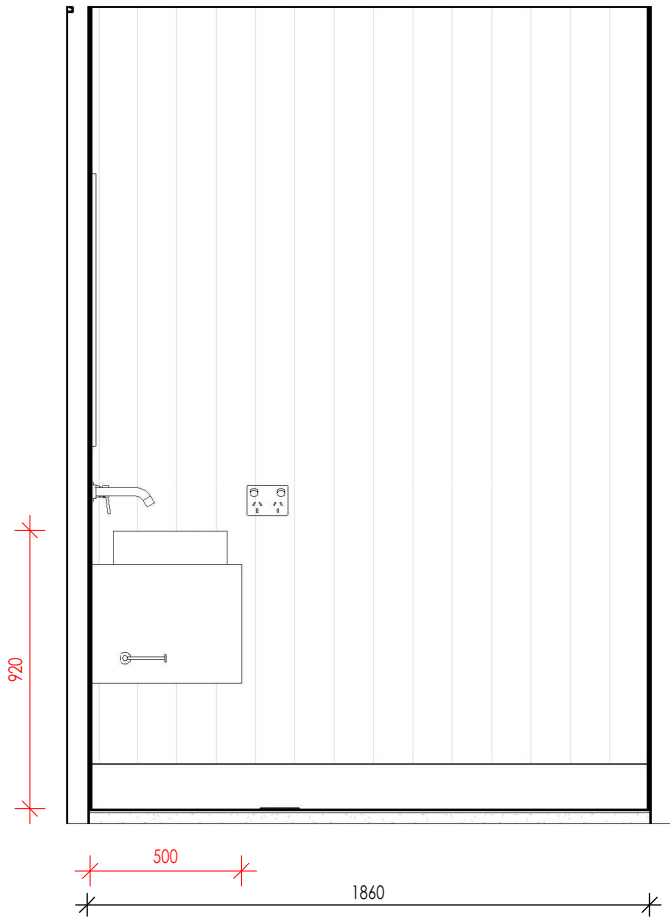




- PLUMBING AND ELECTRICAL MEASUREMENTS TAKEN FROM FRAME
- CABINETRY MEASUREMENTS TAKEN FROM FINISHED WALL
- HEIGHT MEASUREMENTS FROM FINISHED FLOOR LEVEL
- PLASTER BULKHEADS TO FINISH APPROX 3MM FROWARD OF FINISHED CABINETRY DEPTH
- NICHES TO BE OVERSIZED BY 50MM ALL AROUND TO ALLOW FOR TILING
- SUPPORTS IN WALLS REQUIRED FOR TOWEL RAILS/HOOKS - LOCATIONS IN ELEVATIONS



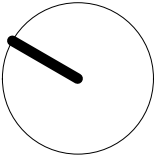
BATH 1 - ELEVATION A
1 : 25



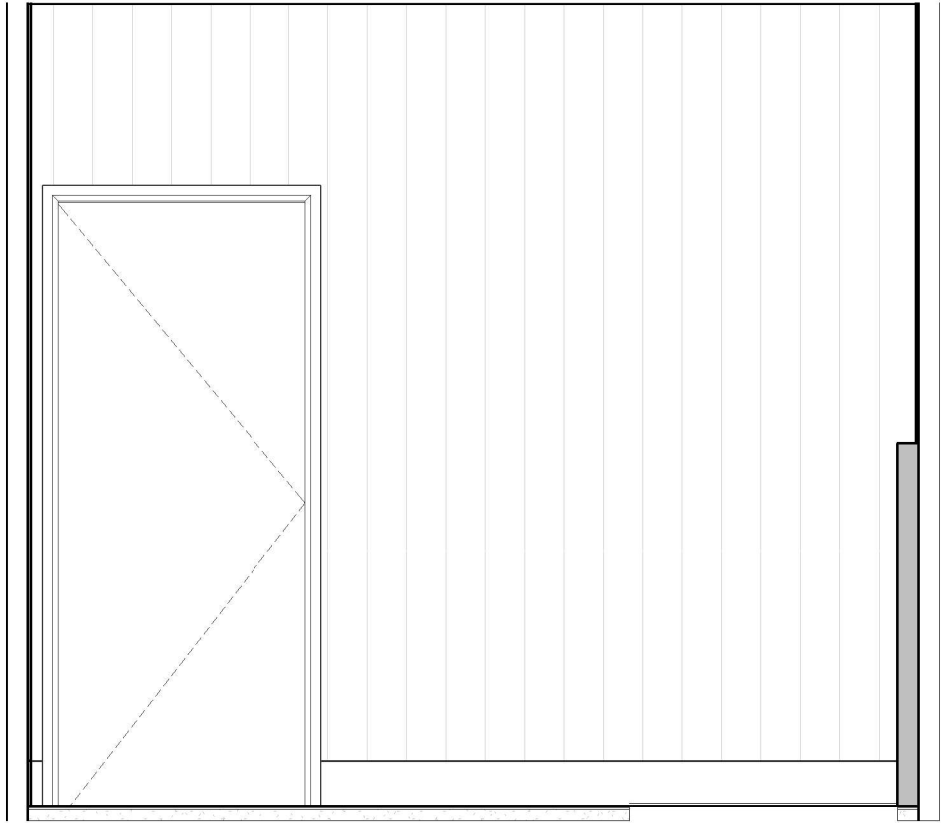
BATH 1 - ELEVATION B
1 : 25

WORKING DRAWINGS

| | | REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|--|--|-----|--------------------|------------|----|------------------|----------------------------|
| | | D | DRAFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' |
| | | E | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | / - / |
| | | F | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | / |
| | | G | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
| | | H | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | |
| | | I | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | |
| | | J | SITE ISSUE | 11.04.2023 | LX | | |
| | | K | DRAFTING AMENDMENT | 09.05.2023 | AM | | |
| | | L | DRAFTING AMENDMENT | 21.06.2023 | LX | | |
| | | | | | | | SHEET NUMBER & NAME |
| | | | | | | | 800.41 BATHROOM 1 DETAIL A |

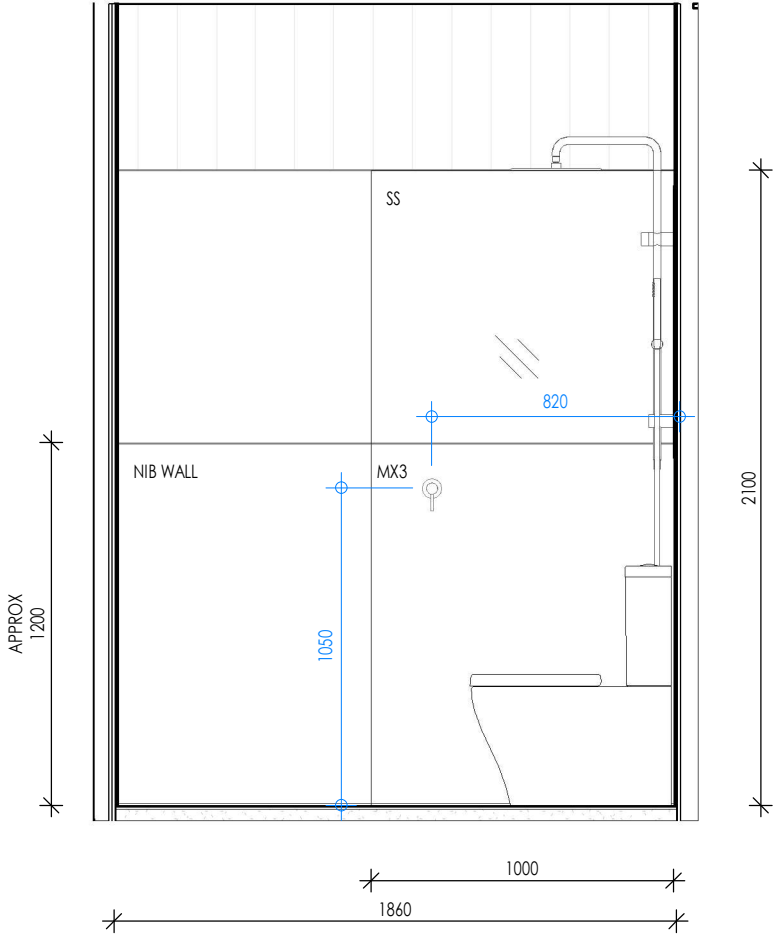


- PLUMBING AND ELECTRICAL MEASURMENTS
TAKEN FROM FRAME
- CABINETRY MEASUREMENTS TAKEN FROM
FINISHED WALL
- HEIGHT MEASUREMENTS FROM FINISHED FLOOR LEVEL
- PLASTER BULKHEADS TO FINISH APPROX 3MM FROWARD OF FINISHED CABINETRY DEPTH
- NICHES TO BE OVERSIZED BY 50MM ALL AROUND TO ALLOW FOR TILING
- SUPPORTS IN WALLS REQUIRED FOR TOWEL RAILS/HOOKS - LOCATIONS IN ELEVATIONS



BATH 1 - ELEVATION C

1 : 25




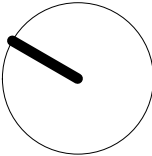
BATH 1 - ELEVATION D

1 : 25

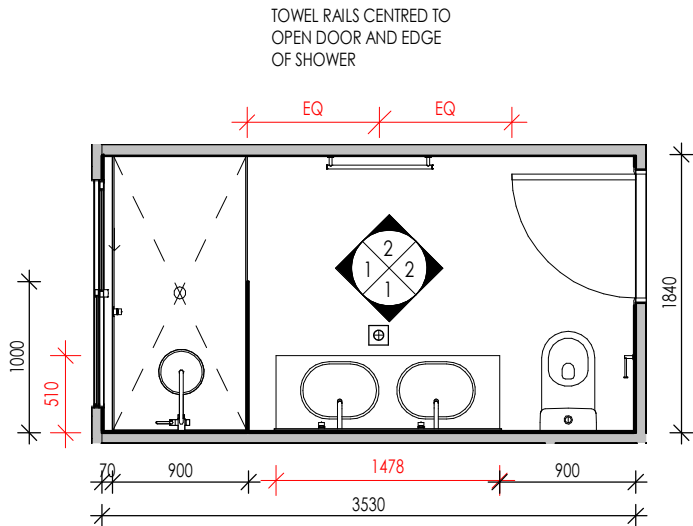
WORKING DRAWINGS

| | | | | | | | |
|--|--|-----|--------------------|------------|----|---|----------------------|
| | | REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
| | | D | DARFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' |
| | | E | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | / - / |
| | | F | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | / |
| | | G | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
| | | H | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | |
| | | I | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | |
| | | J | SITE ISSUE | 11.04.2023 | LX | | |
| | | K | DRAFTING AMENDMENT | 09.05.2023 | AM | | |
| | | L | DRAFTING AMENDMENT | 21.06.2023 | LX | | |
| | | | | | | SHEET NUMBER & NAME 800.42 BATHROOM 1 DETAIL B | |





- PLUMBING AND ELECTRICAL MEASURMENTS TAKEN FROM FRAME
- CABINETRY MEASUREMENTS TAKEN FROM FINISHED WALL
- HEIGHT MEASUREMENTS FROM FINISHED FLOOR LEVEL
- PLASTER BULKHEADS TO FINISH APPROX 3MM FROWARD OF FINISHED CABINETRY DEPTH
- NICHES TO BE OVERSIZED BY 50MM ALL AROUND TO ALLOW FOR TILING
- SUPPORTS IN WALLS REQUIRED FOR TOWEL RAILS/HOOKS - LOCATIONS IN ELEVATIONS



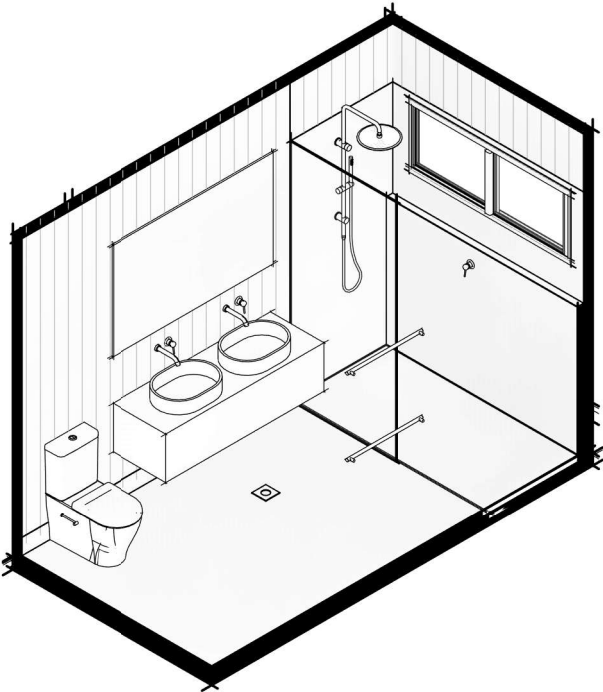
MASTER ENS DETAIL PLAN

1 : 50

INTERNAL WET AREAS
ALL WET AREAS TO COMPLY WITH NCC 3.8.1.2 & AS 3740 - 2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS

WET AREA LEGEND

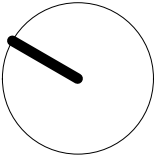
| | | |
|---|------|-----------------------|
| ■ | B | BIDET |
| ■ | BATH | BATHTUB |
| ■ | BT | BENCH TOP |
| ■ | FW | FLOOR WASTE |
| ■ | GD | GRATE DRAIN |
| ■ | HB | HAND BASIN |
| ■ | HTR | HAND TOWEL RAIL |
| ■ | MIRR | MIRROR |
| ■ | MX | MIXER |
| ■ | OHC | OVERHEAD CUPBOARDS |
| ■ | RWH | RAINWATER SHOWER HEAD |
| ■ | SB | SPLASHBACK |
| ■ | SH | SHOWER ROSE |
| ■ | SHV | SHELVES |
| ■ | SS | SHOWER SCREEN |
| ■ | TH | TOWEL HOOK |
| ■ | TR | TOWEL RAIL |
| ■ | TRH | TOILET ROLL HOLDER |
| ■ | BA | VANITY BASIN |
| ■ | WC | WATER CLOSET |



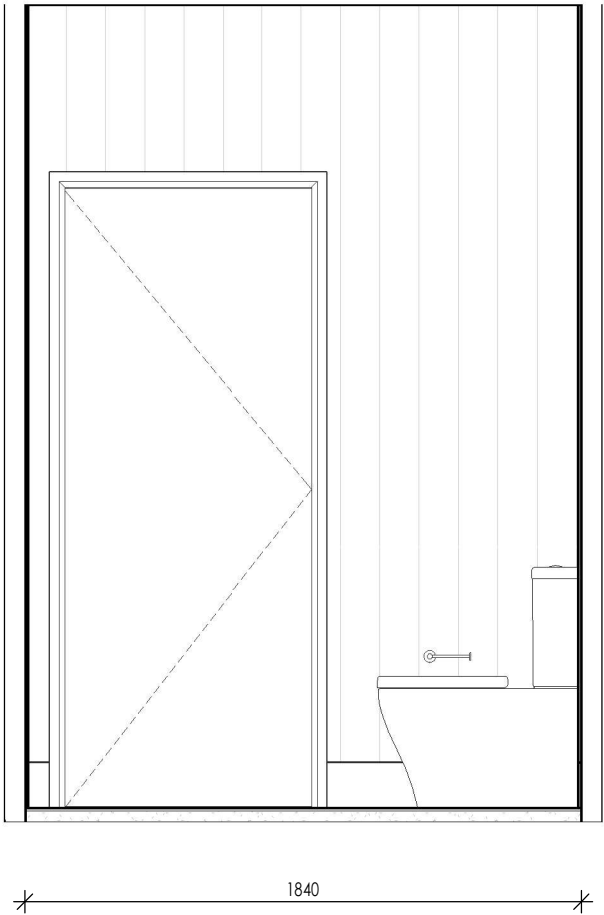
ENS 1 - 3D

WORKING DRAWINGS

| | | | | | | | |
|--|--|-----|--------------------|------------|----|------------------|------------------------------|
| | | REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
| | | D | DRAFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' |
| | | E | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | / - / |
| | | F | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | / |
| | | G | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
| | | H | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | |
| | | I | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | SHEET NUMBER & NAME |
| | | J | SITE ISSUE | 11.04.2023 | LX | | 800.50 ENSUITE 1 DETAIL PLAN |
| | | K | DRAFTING AMENDMENT | 09.05.2023 | AM | | |
| | | L | DRAFTING AMENDMENT | 21.06.2023 | LX | | |

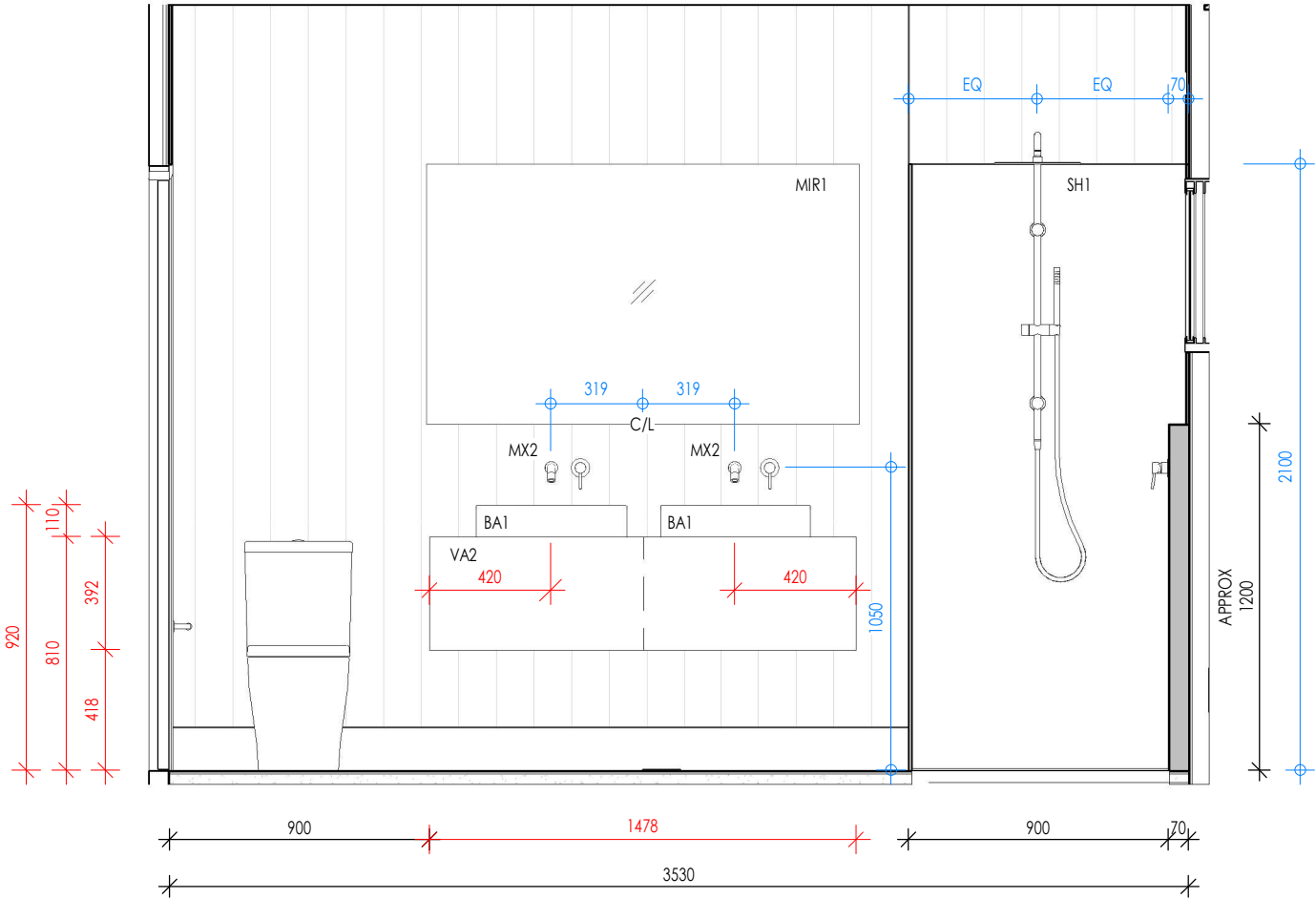


- PLUMBING AND ELECTRICAL MEASURMENTS TAKEN FROM FRAME
- CABINETRY MEASUREMENTS TAKEN FROM FINISHED WALL
- HEIGHT MEASUREMENTS FROM FINISHED FLOOR LEVEL
- PLASTER BULKHEADS TO FINISH APPROX 3MM FROWARD OF FINISHED CABINETRY DEPTH
- NICHES TO BE OVERSIZED BY 50MM ALL AROUND TO ALLOW FOR TILING
- SUPPORTS IN WALLS REQUIRED FOR TOWEL RAILS/HOOKS - LOCATIONS IN ELEVATIONS



ENS 1 - ELEVATION A

1 : 25



ENS 1 - ELEVATION B

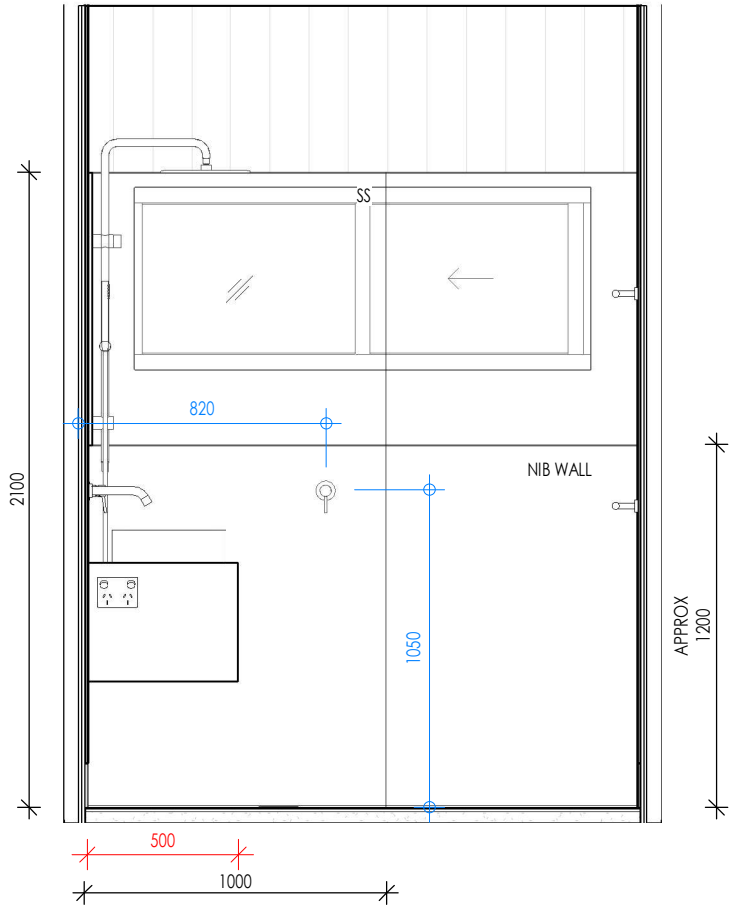
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WORKING DRAWINGS

| REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|--------------------|------------|----|------------------|----------------------|
| D | DRAFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' |
| E | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | / - / |
| F | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | / |
| G | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
| H | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | |
| I | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | |
| J | SITE ISSUE | 11.04.2023 | LX | | |
| K | DRAFTING AMENDMENT | 09.05.2023 | AM | | |
| L | DRAFTING AMENDMENT | 21.06.2023 | LX | | |

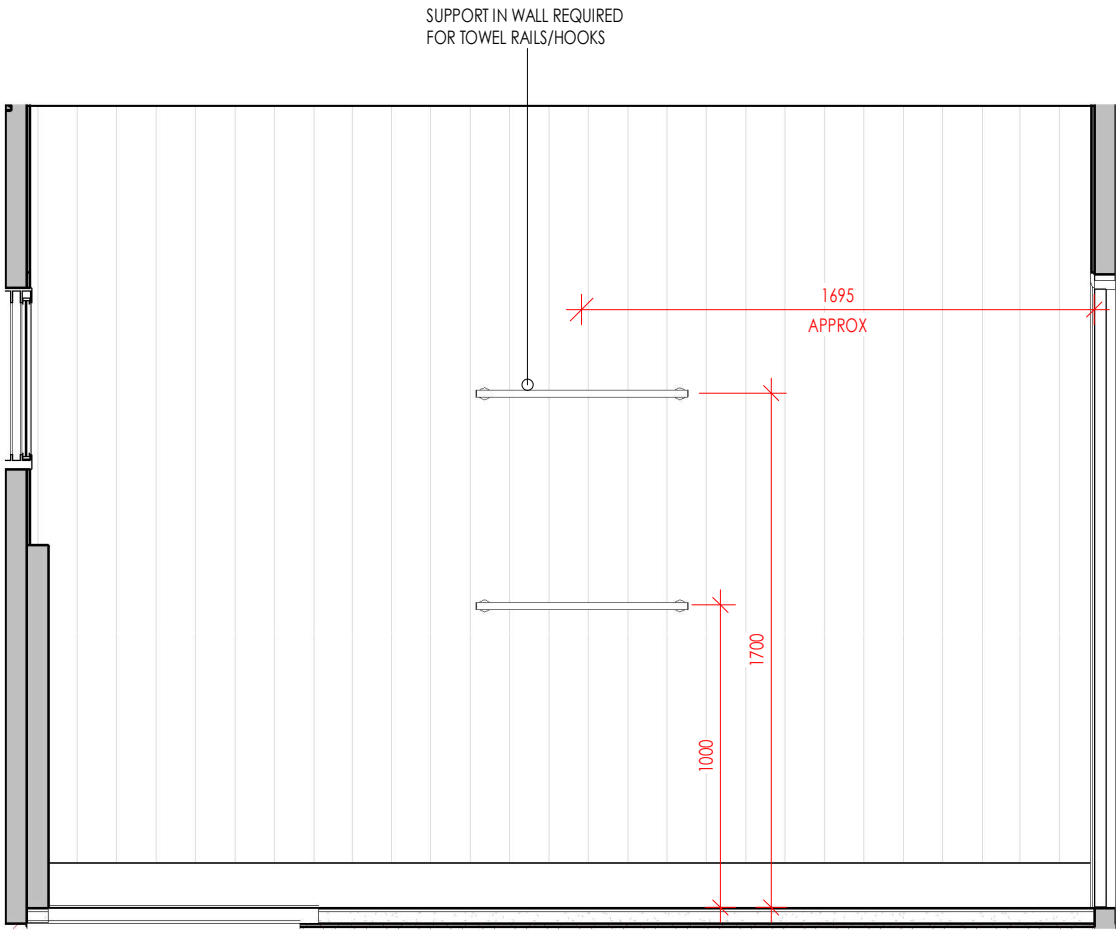
SHEET NUMBER & NAME
800.51 ENSUITE DETAIL A

- PLUMBING AND ELECTRICAL MEASURMENTS TAKEN FROM FRAME
- CABINETRY MEASUREMENTS TAKEN FROM FINISHED WALL
- HEIGHT MEASUREMENTS FROM FINISHED FLOOR LEVEL
- PLASTER BULKHEADS TO FINISH APPROX 3MM FROWARD OF FINISHED CABINETRY DEPTH
- NICHES TO BE OVERSIZED BY 50MM ALL AROUND TO ALLOW FOR TILING
- SUPPORTS IN WALLS REQUIRED FOR TOWEL RAILS/HOOKS - LOCATIONS IN ELEVATIONS



ENS 1 - ELEVATION C

1 : 25



ENS 1 - ELEVATION D

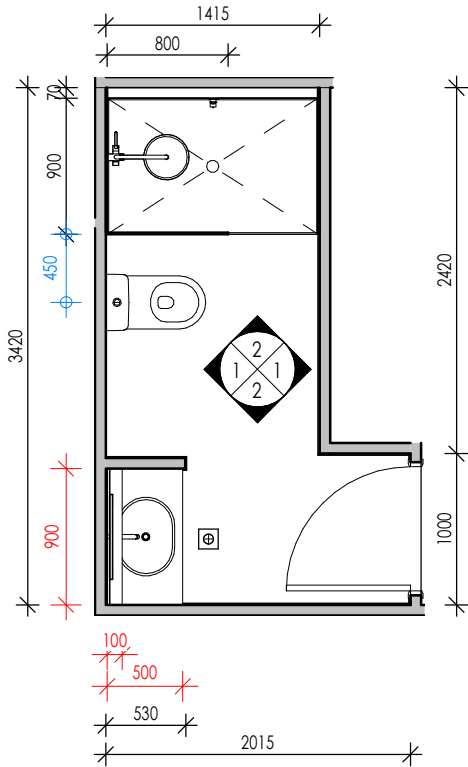
1 : 25

WORKING DRAWINGS

| REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|--------------------|------------|----|------------------|----------------------|
| D | DARFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' |
| E | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | / - / |
| F | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | / |
| G | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
| H | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | |
| I | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | |
| J | SITE ISSUE | 11.04.2023 | LX | | |
| K | DRAFTING AMENDMENT | 09.05.2023 | AM | | |
| L | DRAFTING AMENDMENT | 21.06.2023 | LX | | |

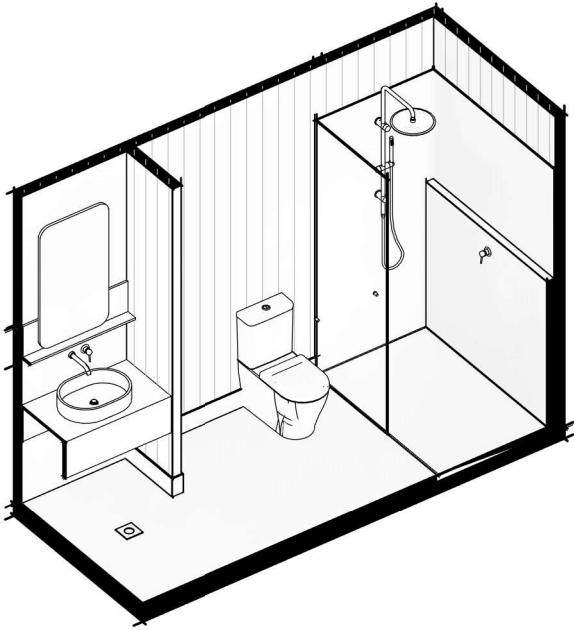
SHEET NUMBER & NAME
800.52 ENSUITE DETAIL B

- PLUMBING AND ELECTRICAL MEASUREMENTS
TAKEN FROM FRAME
- CABINETRY MEASUREMENTS TAKEN FROM
FINISHED WALL
- HEIGHT MEASUREMENTS FROM FINISHED FLOOR LEVEL
- PLASTER BULKHEADS TO FINISH APPROX 3MM FROWARD OF FINISHED CABINETRY DEPTH
- NICHES TO BE OVERSIZED BY 50MM ALL AROUND TO ALLOW FOR TILING
- SUPPORTS IN WALLS REQUIRED FOR TOWEL RAILS/HOOKS - LOCATIONS IN ELEVATIONS



ENS 2 DETAIL PLAN

1 : 50



BATH 2 - 3D


INTERNAL WET AREAS
ALL WET AREAS TO COMPLY WITH NCC 3.8.1.2 &
AS 3740 - 2010 WATERPROOFING OF WET AREAS
IN RESIDENTIAL BUILDINGS

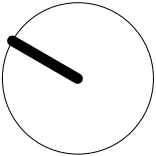
WET AREA LEGEND

| | | |
|---|------|-----------------------|
| ■ | B | BIDET |
| ■ | BATH | BATHTUB |
| ■ | BT | BENCH TOP |
| ■ | FW | FLOOR WASTE |
| ■ | GD | GRATE DRAIN |
| ■ | HB | HAND BASIN |
| ■ | HTR | HAND TOWEL RAIL |
| ■ | MIRR | MIRROR |
| ■ | MX | MIXER |
| ■ | OHC | OVERHEAD CUPBOARDS |
| ■ | RWH | RAINWATER SHOWER HEAD |
| ■ | SB | SPLASHBACK |
| ■ | SH | SHOWER ROSE |
| ■ | SHV | SHELVES |
| ■ | SS | SHOWER SCREEN |
| ■ | TH | TOWEL HOOK |
| ■ | TR | TOWEL RAIL |
| ■ | TRH | TOILET ROLL HOLDER |
| ■ | BA | VANITY BASIN |
| ■ | WC | WATER CLOSET |

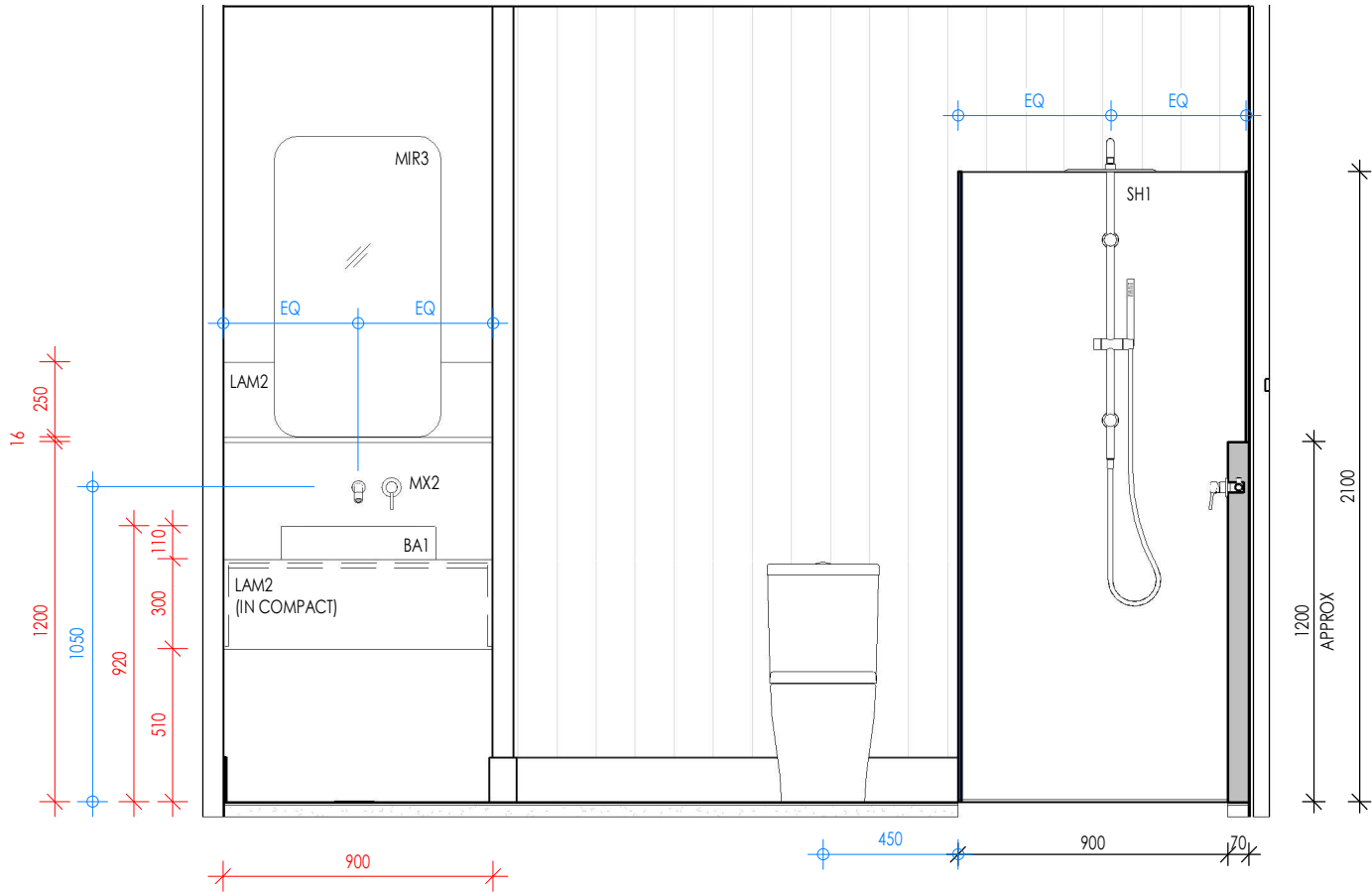
WORKING DRAWINGS

| | | | | | | | |
|--|--|-----|--------------------|------------|----|------------------|--------------------------------|
| | | REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
| | | D | DRAFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' |
| | | E | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | / - / |
| | | F | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | / |
| | | G | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
| | | H | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | |
| | | I | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | |
| | | J | SITE ISSUE | 11.04.2023 | LX | | |
| | | K | DRAFTING AMENDMENT | 09.05.2023 | AM | | SHEET NUMBER & NAME |
| | | L | DRAFTING AMENDMENT | 21.06.2023 | LX | | 800.60 ENSUITE 2 DETAIL PLAN |



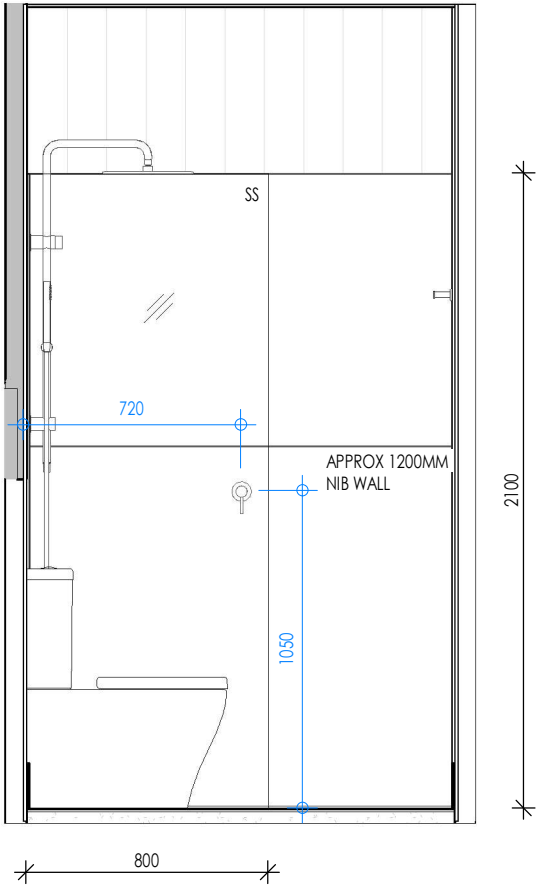


- PLUMBING AND ELECTRICAL MEASUREMENTS TAKEN FROM FRAME
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- HEIGHT MEASUREMENTS FROM FINISHED FLOOR LEVEL
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- NICHES TO BE OVERSIZED BY 50MM ALL AROUND TO ALLOW FOR TILING
- SUPPORTS IN WALLS REQUIRED FOR TOWEL RAILS/HOOKS - LOCATIONS IN ELEVATIONS



ENS 2 - ELEVATION A

1 : 25

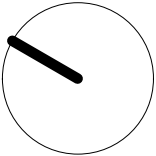


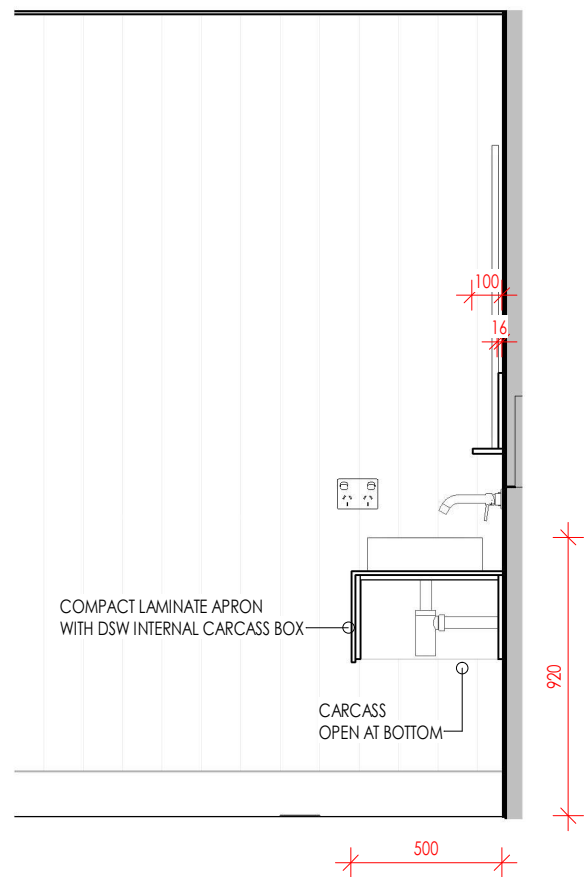
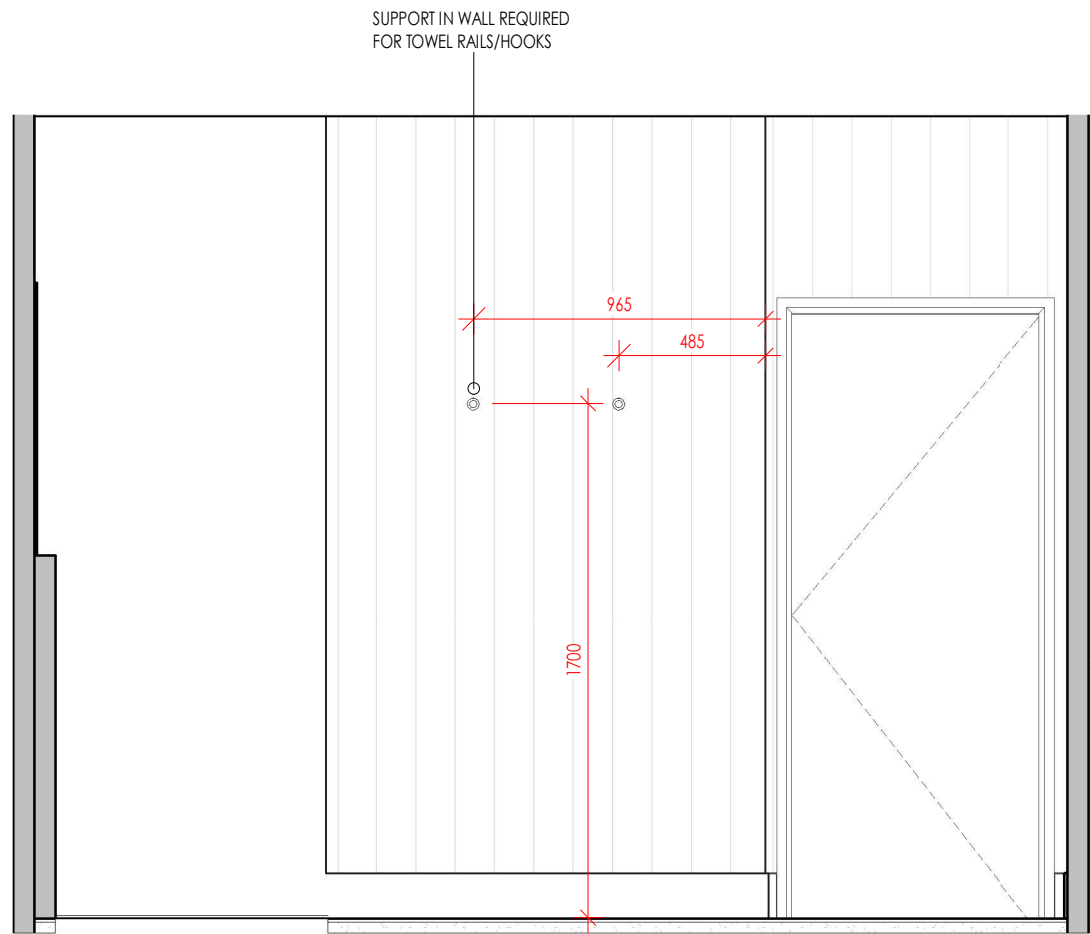
ENS 2 - ELEVATION B

1 : 25

WORKING DRAWINGS

| REV | DESCRIPTION | DATE | BY | RP DESCRIPTION | PROJECT DESCRIPTION |
|-----|--------------------|------------|----|------------------|----------------------|
| D | DRAFTING AMENDMENT | 15.01.2023 | AM | LOT NO: / | 'PROPOSED EXTENSION' |
| E | DRAFTING AMENDMENT | 02.02.2023 | LX | AREA: 405m² | / - / |
| F | DRAFTING AMENDMENT | 07.02.2023 | LX | PLAN NO: / | / |
| G | DETAIL APPROVAL | 07.02.2023 | AM | WARD: / | |
| H | DETAIL APPROVAL | 15.03.2023 | AM | SUBURB / | |
| I | SITE ISSUE | 21.03.2023 | LX | AUTHORITY: B.C.C | |
| J | SITE ISSUE | 11.04.2023 | LX | | |
| K | DRAFTING AMENDMENT | 09.05.2023 | AM | | |
| L | DRAFTING AMENDMENT | 21.06.2023 | LX | | |





WORKING DRAWINGS